

CITY PLAN COMMISSION DOCKET

Tuesday, February 2, 2016

~~9:00 A.M.~~ REVISED TIME 11:30 A.M.26th Floor, Council Chamber**Members**

Babette Macy, Chair
 Rev. Stan Archie, Vice-Chair
 Bobbi Baker-Hughes
 Margaret J. May

Enrique Gutierrez
 Trish Martin
 Coby Crowl
 Diane Burnette

GENERAL INFORMATION

- A. The City Plan Commission may hold a closed session to discuss legal matters and legal advice pursuant to Section 610.021 (1), RSMO.
- B. There may be general discussion(s) regarding current City Planning Commission issues.
- C. The City Plan Commission will generally take a short recess for approx. 10 minutes at approx. 10:30 a.m. and generally between 11:30 a.m. and noon for approx. 45 minutes for lunch.

Council Planner Docket
 District No.

FINAL PLATS & FINAL PLANS -- CONSENT AGENDA:

The applicant or the applicant's representative shall sign the consent agenda form at the podium prior to 11:30 A.M. Those cases in which the applicant or representative has signed the consent agenda form will not require that person to identify themselves as the case is called. If the applicant desires to testify, has concerns or questions regarding the Staff's recommendations or is not in agreement with the conditions, that opportunity to testify at the end of the consent agenda will be given to persons regarding those cases.

- 4 OA 1. **Case No. 7899-MPD-13** – A request to consider approval of an MPD final plan within the Rockhurst University Master Planned District, on approximately 0.52 acres, generally located on the west side of Forest Avenue, approximately 50 feet south of E. 54th Street, to allow for two (2) four-plex townhomes on one lot.
 Applicant: Rockhurst University, repr Nolte & Associates, P.A.
- 1 OA 2. **Case No. SD 0956G** -- - Hunt Midwest Business Park - Fifth Plat - To consider approval of a final plat on about 190 acres, in District M1-5 /US (manufacturing 1-5/underground space), generally located on the north and south sides of NE Parvin Road, between N. Arlington Avenue and N. Hughes Road creating five (5) commercial lots and two (2) tracts.
 Applicant: Hunt Midwest, repr Lutjen

City Plan Commission
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Council Planner Docket
District District No.

- 6 OA 3. **Case No. SD 0974E** - The Woods of Somerset Replat-- To consider approval of a final plat on about 3 acres in District R-7.5 (Residential dash 7.5), generally located on the east side of Wornall Road and the north and south side of E. 122nd Street, to allow for setback modifications to Lots 26 through 36.
Applicant: Warger Associates, repr Steve Warger

NEW CASE

- 1 OA 4. **Case No. 6158-CP-36** – About 22.6 acres generally located at the northeast corner of NE Cookingham Drive and N. Ash Avenue, to consider an amendment to an existing Chapter 80 plan in District CP-2 (local planned business center) to allow for the revision of a two (2) acre area in the southeast portion of the plan by adding a new business.
Applicant: Carter Engineering Consultants, Inc., Jeff Carter

CONTINUED CASES

- 2 JE 5. **Case No. 5857-P-53** – About 132 acres generally located at the southwest corner of North Cosby Avenue (NW 62nd Terrace) and 45 Highway (NW 64th Street), to consider removing about 1.37 acres, also known as Forest Ridge Estates Tract B, generally located on the west side of N Cosby Avenue about 500 feet south of NW 63rd Street from the plan -- said property currently zoned R-6 (Residential 6) and previously zoned R-1b, CUP (One family dwelling district), Community Unit Project. (Continued from 9-1-15)
Applicant: George Gunter III, repr. Lutjen Inc.
- 2 JE 6. **Case No. 5857-P-54** – About 1.37 acres, also known as Forest Ridge Estates Tract B, generally located on the west side of N Cosby Avenue about 500 feet south of NW 63rd Street, to consider rezoning the site from District R-6 (Residential 6) to District R-5 (Residential 5). (Continued from 9-1-15) **To Be Dismissed**
Applicant: George Gunter III, repr. Lutjen Inc.
- 2 JE 7. **Case No. 5857-P-55** – About 1.37 acres, also known as Forest Ridge Estates Tract B, generally located on the west side of N Cosby Avenue about 500 feet south of NW 63rd Street, to consider the approval of a Development Plan in District R-5 (Residential 5) for two, two-unit houses. (Continued from 9-1-15) **To Be Dismissed**
Applicant: George Gunter III, repr. Lutjen Inc.

NEW CASES

- 1 AW 8. **Case No. 673-S-4** – A request to amend the Briarcliff-Winnwood Area Plan by changing the recommended land use on about 19.337 acres generally located on the east side of N Bennington Avenue and approximately 350 feet south of NE 46th Street from institutional to residential medium density.
Applicant: Westfall-O'Dell Motors, Inc., repr White Goss

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Council Planner Docket
District No.

- 1 AW 9. **Case No. 14638-P** – A request to rezone about 19.337 acres generally located on the east side of N Bennington Avenue and approximately 350 feet south of NE 46th Street from M2-2 (Manufacturing 2 dash 2) to R-6 (Residential dash 6) to allow for future residential development.
Applicant: Westfall-O'Dell Motors, Inc., repr White Goss

CONTINUED CASE

- 4 AW 10. **Case No. 14621-SU** – 8201 E Bannister Road – About .83 acres generally located at the southeast corner of James A Reed Road and Bannister Road, to consider approval of a Special Use Permit to expand an existing gas station and convenience store, plus any necessary variances. (Continued from 01-05-16 – with no testimony) **To be continued**
Applicant: KAM Design, Khalid Banday.

NEW CASES

- 4 JR 11. **Case No. 10771-UR-2** - About 0.5 acres generally located at 415 E 63rd St, to consider rezoning from District B3-2 (Community Business) to District UR (Urban Redevelopment), and approval of a preliminary development plan for a residential development.
Applicant: 63rd Street Townhomes, LLC, Lance Carlton

CONTINUED CASES

- 4 JR 13. **Case No. 611-S-6** – A request to amend the Plaza Urban Design and Development Plan on about 1.5 acres, generally located on the block bound by W 46th St on the north, Broadway on the west, Wornall Rd on the east and W 46th Ter on the south, by changing recommendation relating to redevelopment from “Potential Redevelopment within Existing Zoning” to “Limited Redevelopment with Specific Guidelines” and by changing the recommendation regarding building height from “4-10 stories” to “12-15 stories”. (Continued from 12-1-15 – No Testimony) **To be continued**
Applicant: Plaza Hotels, LLC, repr Polsinelli PC
- 4 JR 14. **Case No. 14609-UR** – To consider approval of a rezoning from District B3-2 (Community Business) to District UR (Urban Redevelopment) and approval of a preliminary development plan on approximately 1.5 acres generally located on a portion of the block bound by Broadway, W 46th St, W 46th Ter, and Wornall Rd to allow an approximately 228,770 square foot mixed use development. (Continued from 12-1-15 – No Testimony) **To be continued**
Applicant: Plaza Hotels, LLC, repr Polsinelli PC

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- CW PN 15. **Case No. 254-S-314** -- Amending Chapter 88, the Zoning and Development Code, through revisions, clarifications, and other administrative changes throughout the chapter in accordance with the Zoning & Development Code periodic review.
Applicant: City Planning and Development. (Continued from 1-19-15 – No Testimony)



Any person with a disability desiring reasonable accommodation to participate in this meeting may contact the 311 Action Center at 311 or (816) 513-1313 or for TTY 513-1889 or by email at actioncenter@kcmo.org.

Case No. 7899-MPD-13 - A request to consider approval of an MPD final plan within the Rockhurst University Master Planned District, on approximately 0.52 acres, generally located on the west side of Forest Avenue, approximately 50 feet south of E. 54th Street, to allow for two (2) four-plex townhomes on one lot.





City Planning & Development Department

Development Management Division

15th Floor, City Hall
414 East 12th Street
Kansas City, Missouri 64106-2795

Ph: (816) 513-8801
Fax: (816) 513-2838

STAFF REPORT

February 2, 2016

(1)

RE: **Case 7899-MPD-13**

APPLICANT/AGENT: Thomas Nolte
Nolte & Associates, P.A.
9400 Reeds Rd, Suite 200
Overland Park, KS 66207

OWNER: Rockhurst University
1100 Rockhurst Road
Kansas City, MO 64110

LOCATION: Generally located on the west side of Forest Avenue,
approximately 50 feet south of E. 54th Street.

AREA: About 0.5 acres.

REQUESTS: To consider approval of an MPD final plan within the
Rockhurst University Master Planned District, to allow for
two (2) four-plex townhomes on one lot.

LAND USE PLAN: The South Central Area Plan recommends public-
semipublic, retail commercial, low density residential (1-
8 units per acre) medium density residential (9-28 units
per acre) and light industrial uses for this site.

SURROUNDING LAND USE:

North: zoned MPD, Rockhurst University offices.

South: zoned R-6, single family residences.

East: zoned MPD, vacant/ undeveloped.

West: zoned MPD, commercial.

MAJOR STREET PLAN: Forest Avenue is not classified by the City's Major Street
Plan.

ARTERIAL STREET

IMPACT FEE:

(Informational only)

Benefit District – Exempt

The proposed development is within an exempt district.

PREVIOUS CASES:

Case No. 7899-MPD-12 – On January 19, 2016, the City Plan Commission recommended approval of the request amend the existing educational institution MPD preliminary development plan on about 55 acres, in District MPD (Master Planned Development), to allow for two (2) four-plex townhomes. This case is pending action by the City Council.

Case No. 7899-MPD-11 – On November 7, 2012, the Development Review Committee approved an MPD final plan on about 4.8 acres located on the north side of E. 54th Street between vacated Forest Street and vacated Tracy Avenue to allow for an academic building.

Case No. 7899-MPD-10 – Ordinance No. 110804 passed by City Council on November 3, 2011, rezoned about 55 acres generally bounded by Troost Avenue on the west, The Paseo on the east, E. 51st Street and Rockhurst Road on the north and E. 54th Street and E. 55th Street on the south, from Districts R-1.5 (Residential 1.5), R-2.5 (Residential 2.5), R-6 (Residential 6) and B3-2 (Community Business - 2) to District MPD (Master Planned Development), and approved a preliminary development plan for an educational institution.

Case No. 7899-PD-9 - On July 6, 1999, the City Plan Commission approved a final plan on about 11 acres in District PD/R-4 for additional parking and other site improvements for Rockhurst College.

Case No. 7899-A-8 – On June 8, 1999, the Board of Zoning Adjustment granted variances to the maximum allowable height for an existing educational building and dormitory.

Case No. 1314-V - Ordinance No. 990752, passed by City Council on June 10, 1999, vacated E. 54th Street between Troost Avenue and Forest Avenue.

Case No. 7899-PD-7 - Ordinance No. 990635, passed by City Council on June 10, 1999, rezoned about 11 acres from District R-4 (low apartments) to District PD/R-4 (low apartments, planned development; overlay) and approved a development plan, for additional parking and other site improvements for Rockhurst College.

Case No. 7899-P-6 - Ordinance No. 990631, passed by City Council on June 10, 1999, Rezoned about 11 acres generally bounded by 53rd Street on the north, Tracy Avenue on the east, 54th Street on the south and Troost Avenue on the

west from Districts R-1b (one-family dwellings), C-2 (local retail business) and R-4-p (low apartments, limited district) to District R-4 (low apartments).)

Case No. 7899-P-5 – On December 23, 1993, City Plan Commission approved a final plan for a parking lot on about 0.85 acre at the southwest corner of 53rd Street and Tracy Avenue.

Case No. 1073-V - Ordinance No. 931343, passed by City Council on November 22, 1993, vacated Tracy Avenue between E. 53rd Street and E. 54th Street, and vacated E. 53rd Street from Tracy Avenue to Virginia Avenue and from Lydia Avenue to The Paseo.

EXISTING CONDITIONS:

The existing Rockhurst University campus contains about 27 structures on 55 acres, occupying all of the area between Troost Avenue on the west and The Paseo on the east from Rockhurst Road to E. 54th Street, as well as several parcels of land fronting on Troost Avenue to the north and south, and properties at the corners of Forest Avenue at Rockhurst Road and E. 54th Street. The structures include a number of academic buildings, library, physical plant, field house, student life center, and eight student residential buildings. A baseball field, softball field, tennis courts and soccer field are located east of vacated Tracy Avenue, which extends through the center of the campus. A three-story, 423 space parking garage with 10,000 square feet of potential commercial use was recently constructed at the northeast corner of Rockhurst Road and Troost Avenue.

North of the parcel is the university Public Relations and Marketing office. To the south are single family residences on both sides of Forest Avenue. To the east are vacant parcels and to west is a commercial strip within the campus MPD with frontage on Troost Avenue.

PLAN REVIEW & ANALYSIS:

The request is for a final MPD plan within the Rockhurst University Master Planned District to allow for the construction of two (2) four-plex townhomes at the southwest corner of E. 54th Street and Forest Avenue. The plan shows two four-plex buildings with 32 parking spaces to be used as student housing.

Vehicular ingress/egress to the site will be provided from an existing drive off E. 54th St. to the north. This will be the only access to the site. The parking will

extend along the western half of the property to the southern property line. Chapter 88-420 of the Zoning and Development Code requires 1 parking space per units, for a total of 8 parking spaces for the 8 units. The 32 parking spaces meets the requirement of the Zoning and Development Code. Staff recommends that the applicant provide short term and long term bicycle parking spaces to meet the requirement of 88-420-09.

The buildings are about 25 feet in height, and are proposed to be constructed of brick veneer and cement board lap siding (hardieplank) and shake shingles, accented with wood trim. The plan shows two raised front porches with wood box columns and railings. A trash enclosure is proposed at the northwest corner of the site. The trash enclosure is proposed to be constructed of 4x8 CMU blocks.

Proposed landscaping shows 4 Skyline Honeylocust along Forest Avenue, and 6 Prairiefire Crabapples around the building. Shrubs (Feather Reed Grass and Seagreen Juniper) are provided in clusters around the front of the buildings. The plan shows two existing matured trees along Forest Avenue to remain. Staff recommends that the plan be revised to add landscaping along the northern part of the trash enclosure as required by Chapter 88-425-08. The plan is sealed by a Landscape Architect registered in the State of Missouri.

The plan does not show any sidewalk connection from the restaurant to the public street. Staff recommends that the plan be revised to show direct pedestrian access from the public sidewalk to the main entry of the building. The pedestrian access way should be delineated, signed and constructed of different materials to ensure safe navigation of the drive-through lanes and drive isles. That submitted lighting plan shall be revised to show the lighting fixtures and cut-off and photometric measured in lumens to meet the requirement of Chapter 88-430 in its entirety.

Parkland Dedication:

According to Chapter 88-405-17 of the Zoning and Development Code, the developer can either dedicate land for public park, provide open space for park purposes or provide money in lieu of parkland dedication. The development is providing a need for the following:

$$\begin{aligned} 8 \text{ multi-family units} \times 2 \times 0.006 &= 0.096 \text{ acres} \\ 0.096 \text{ acres} \times \$16,907.93 &= \$1,623.16 \end{aligned}$$

That the developer dedicate 0.096 acres of parkland or contribute \$1,623.16 in lieu of parkland dedication for the 8 multifamily lots in satisfaction of Chapter 88-408 of the Zoning and Development Code.

Per Section 88-280-01, the MPD district is intended to accommodate development that may be difficult if not impossible to carry out under otherwise applicable zoning district standards. The proposed MPD does not serve as a preliminary plat. The MPD district will allow for multiple buildings and uses on one lot and establish the building setbacks and other site development standards.

The MPD plan amendment was approved by the City Plan Commission and scheduled for the Planning, Zoning and Economic Development Committee of the City Council. This final MPD plan is in conformance to the current approved plan Case No. 7899-MPD-13.

RECOMMENDATIONS:

The City Planning and Development Department staff recommends that **Case No. 7899-MPD-13** be approved based on the application, plans, and documents provided for review prior to the hearing and subject to the following conditions:

1. That two (2) folded copies of **Sheets AS-1 and L1** (and a CD containing a pdf file, a georeferenced monochromatic TIF file, and CAD/GIS compatible layer of the site plan boundary referenced to the Missouri state plan coordinate system) of (a revised drawing /all listed sheets), revised as noted, be submitted to Development Management staff, prior to issuance of building permit showing:
 - a. Short term and long term bicycle parking spaces to meet the requirement of 88-420-09.
 - b. add landscaping along the northern part of the trash enclosure as required by Chapter 88-425-08.

Condition No. 2. per City Planning & Development, Development Management Division (Olofu Agbaji, Olofu.Agbaji@kcmo.org)

2. That the MPD plan amendment (Case No. 7899-MPD-12) be approved by City Council prior to issuance of full Building Permit.

Condition Nos. 3. - 8. per City Planning & Development, Land Development Division (Brett Cox, brett.cox@kcmo.org)

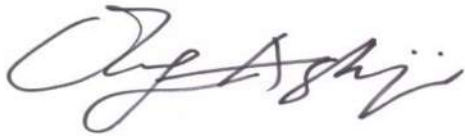
3. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations.

4. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the entire site to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted, and the developer secure permits to construct any improvements required by the Land Development Division prior to issuance of any building permits.
5. The developer submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, to identifying sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 4/8/09" and base on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits.
6. The owner/developer must submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
7. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required.
8. The developer must grant a BMP Easement to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits.

**Condition No. 9. per Parks and Recreation Department (Richard Allen,
richard.allen@kcmo.org)**

9. That the developer dedicate 0.096 acres of parkland or contribute \$1,623.16 in lieu of parkland dedication for the 8 multifamily lots in satisfaction of Chapter 88-408 of the Zoning and Development Code.

Respectfully submitted,

A handwritten signature in dark ink, appearing to read "Olofu O. Agbaji". The signature is fluid and cursive, with the first name "Olofu" and last name "Agbaji" clearly distinguishable.

Olofu O. Agbaji
Planner



LOCATION OF SITE

Surveyor's Recommendation Description:

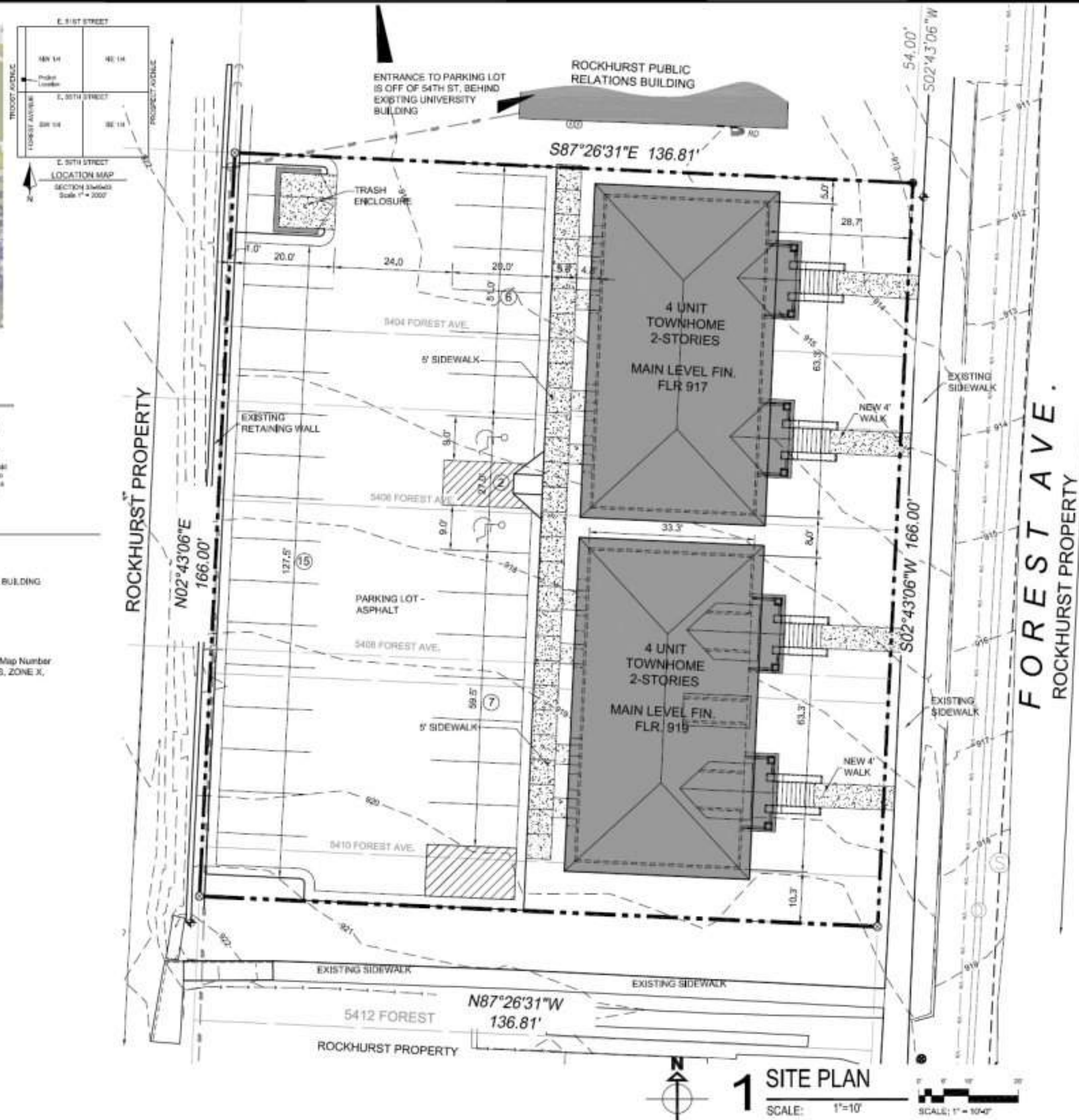
All of Lots 28, 30 and 31, C/A, LUGER'S SECOND ADDITION, a subdivision in Kansas City, Jackson County, Missouri, together with the north 15 feet of Lot 32 of said C/A, LUGER'S SECOND ADDITION, more particularly described as follows:

Beginning at the northeast corner of said Lot 28; thence South 02°43'06" West, coincident with the east line of said Lot 28 and its southerly prolongation, 166.00 feet; thence North 87°26'31" West, coincident with a line 15 feet south and parallel to the north line of said Lot 32, a distance of 136.81 feet to a point on the west line of said Lot 32; thence North 02°43'06" East, coincident with said west line and its northerly prolongation, 166.00 feet to the northwest corner of said Lot 28; thence South 87°26'31" East, coincident with the north line of said Lot 28, a distance of 136.81 feet to the Point of Beginning, containing 22,711 square feet, or 0.521 acres, more or less.

PROJECT DATA

ZONING — MPD
TOTAL LAND AREA — 22,711 SQ. FT., .521 AC.
USE — STUDENT HOUSING
HEIGHT AND STORIES — 25', 2 STORIES WITH BASEMENT
GROSS FLOOR AREA PER FLOOR - TOTAL FOR EACH BUILDING - 8,336 SQ. FT. PER BUILDING
/ (2) BUILDING = 12,672
4 UNITS PER BUILDING WITH (2) BUILDING = 8 UNITS TOTAL
BUILDING COVERAGE AND FLOOR AREA RATIO 18.5%
PARKING PROVIDED — 32 STALLS
COMPLETION DATE — AUGUST 1

Flood Plain Note: According to the PRELIMINARY F.E.M.A. Flood Insurance Rate Map Number 25095C0264G, dated October 10, 2014, this tract graphically lies in OTHER AREAS, ZONE X, defined as areas determined to be outside the 0.2% annual chance floodplain.



FINAL PLAN AND PLAT FOR: ROCKHURST UNIVERSITY TOWNHOME HOUSING

54th and FOREST AVENUE
KANSAS CITY, MISSOURI

NOLTE & ASSOCIATES, P.A.

ARCHITECTS / PLANNERS

3400 REEDS ROAD, SUITE 200
OVERLAND PARK, KANSAS 66207

(913) 322-2668
FAX (913) 322-6377



THIS DOCUMENT IS THE PROPERTY OF NOLTE & ASSOCIATES, P.A. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF NOLTE & ASSOCIATES, P.A.

DATE: 11.19.2015

BY: [Signature]

ARCHITECTURAL PROJECT NUMBER
14083

AS-1

SHEET NUMBER





ROCKHURST UNIVERSITY STUDENT HOUSING





FRONT ELEVATION - OPTION A



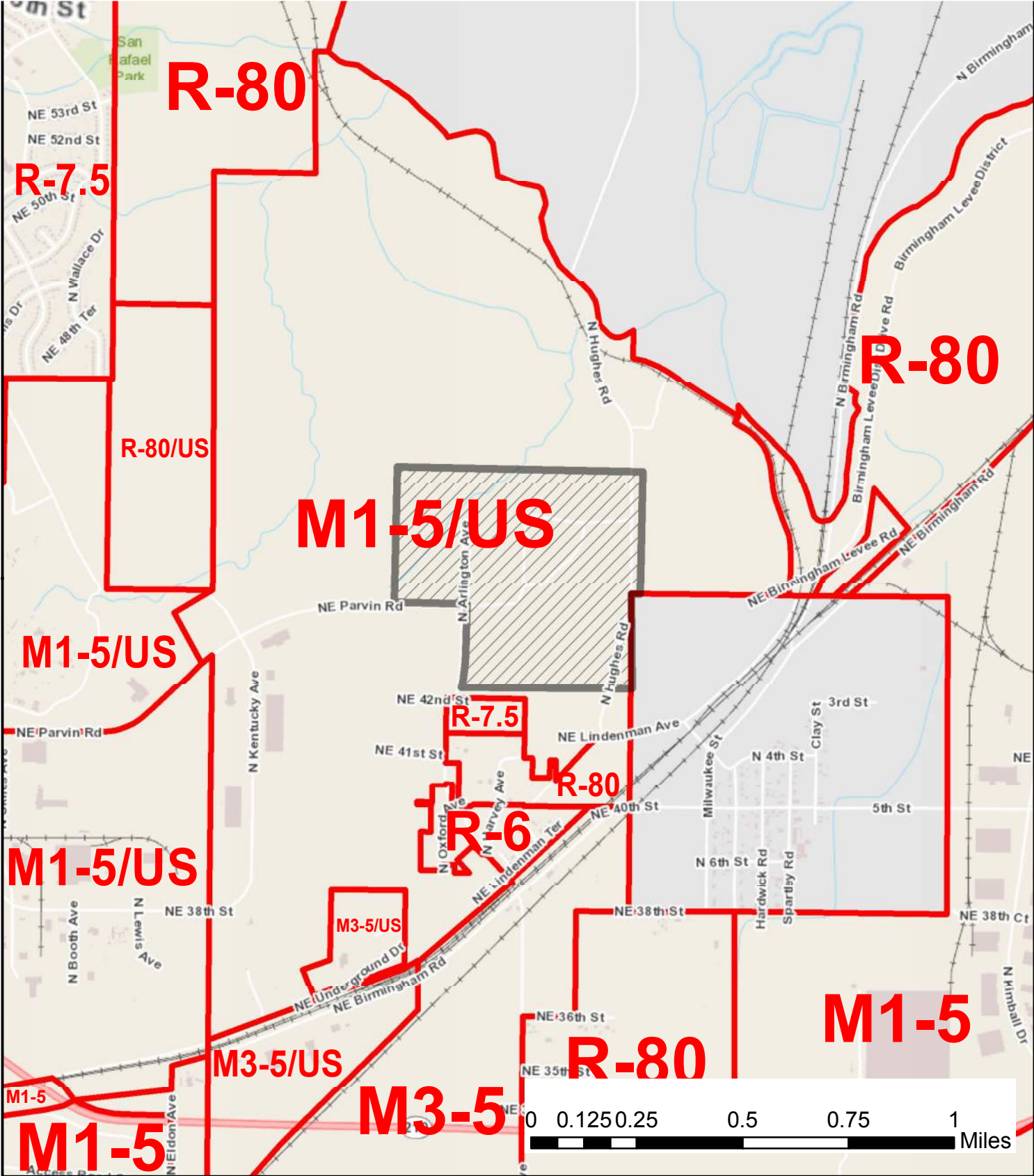
SIDE ELEVATION - OPTION A



BACK ELEVATION - OPTION A

Business Park, 5th Plat

SD 0956G, Final Plat - Hunt Midwest Business Park - Fifth Plat - To consider approval of a final plat on about 190 acres, in District M1-5 /US (manufacturing 1-5/underground space), generally located on the north and south sides of NE Parvin Road, between N. Arlington Avenue and N. Hughes Road creating five (5) commercial lots and three (3) tracts.





City Planning & Development Department

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15th Floor, City Hall
414 East 12th Street
Kansas City, Missouri 64106-2795

816 513-8801
Fax 816 513-2838

STAFF REPORT

February 2, 2016

(2)

RE: **SD 0956G, Final Plat - Hunt Midwest Business Park - Fifth Plat**

APPLICANT/ OWNER: Mike Bell
Hunt Midwest Real Estate Development, Inc.
8300 NE Underground Drive
Kansas City, MO 64161

AGENT: Jed Baughman
Lutjen, Inc.
1301 Burlington Street, #100
N. Kansas City, MO 64150

LOCATION: Generally located on the north and south sides of NE Parvin Road, between N. Arlington Avenue and N. Hughes Road.

AREA: Approximately 190 acres.

REQUESTS: To consider approval of a final plat in District M1-5 /US (manufacturing 1-5/underground space), creating five (5) commercial lots and three (3) tracts.

SURROUNDING

LAND USE: **North:** zoned M 1-5/ US, vacant/ undeveloped.
South: zoned M 1-5/ US/ R-7.5, vacant/ undeveloped.
East: zoned M 1-5/ US, vacant/ undeveloped.
West: zoned M 1-5/ US, vacant/ undeveloped.

LAND USE PLAN: The Birmingham Area Plan recommends industrial uses for this site.

MAJOR STREET PLAN: Northeast Parvin Road is classified as a four-lane thoroughfare (non-bicycle route) by the City's Major Street Plan, with a minimum right of way width of 100

feet. North Arlington Avenue is not identified in the City's Major Street Plan.

ARTERIAL STREET

IMPACT FEE:

This site is located within impact fee District D. The fee will be determined by the Impact Fee Administrator.

PREVIOUS CASES:

Case No. 1699-V – Ordinance No. 150835 passed by City Council on October 10, 2015, vacated unbuilt and unrecorded Hughes Road in its entirety beginning at the intersection of Lindenman Avenue north to the Norfolk and Western Railroad/City Limits.

Case No. 1700-V - Ordinance No. 150836 passed by City Council on October 10, 2015, vacated a portion of Hilton's Addition Plat and adjacent right-of-way generally located south of NE Parvin Rd, north of NE Lindenman Ave, and east of N Arlington Ave.

Case No. 1701-V - Ordinance No. 150835 passed by City Council on October 10, 2015, vacated a portion of right-of-way reserved for Parvin Rd, generally located 1,400 feet east of N Arlington and west of the city limits.

SD 0956I, Final Plat - Hunt Midwest Business Park Lot 29 - Ordinance No. 150266 passed by City Council on April 23, 2015 approved a final plat on about 23 acres, in District M1-5 /US (Manufacturing 1 dash 5/ Underground Space), generally located southwest corner of N. Arlington Avenue and NE Parvin Road, creating one (1) commercial lot.

SD 0956H, Final Plat - Hunt Midwest Business Park Lot 22A-1 – Ordinance No. 150265 passed by City Council on April 23, 2015 approved a final plat on about 13 acres, in District M1-5 /US (Manufacturing 1 dash 5/ Underground Space), generally located northwest corner of N. Arlington Avenue and NE Parvin Road, creating one (1) commercial lot.

Case No. 10694-P-26 – On January 19, 2016, the City Plan Commission approved a Chapter 80 final plan in Districts M1-5/US (Manufacturing 1-5/ Underground Space), on about 15 acres generally located on the southeast corner of NE Parvin Road and N. Arlington Avenue, to allow for a 201,000 square foot office/warehouse facility.

Case No. 10694-P-25- Ordinance No. 140944 passed by City Council on November 6, 2014, approved an amendment to a previously approved Chapter 80 Preliminary Development plan in District M-2a-p/US (Heavy Industry - Limited District/Underground Space), on approximately 1,128 acres generally bounded by Missouri Highway 210 on the south, the city limits of Claycomo, Liberty and Birmingham on the north and east, and a line approximately 500 feet west of N. Kentucky Avenue on the west, to delete about 417 acres from the existing Chapter 80 approved development plan.

Case No. 10694-P-24 - On January 21, 2014, the City Plan Commission approved a Chapter 80 final plan in Districts M1-5/US (Manufacturing 1-5/ Underground Space), on about 30 acres generally located on the west side of NE 41st Street and N. Arlington Avenue, approximately 500 feet south of NE Parvin Road, to allow for a utility yard and a screen wall.

Case No. 10694-P-23 – On January 21, 2014, the City Plan Commission approved a Chapter 80 final plan in District M1-5/US/ R-7.5 (manufacturing 1-5/underground space/ Residential dash 7.5), on about 12 acres generally located on the west side of N. Arlington Avenue, approximately 500 feet south of NE Parvin Road, to allow for an automotive related industrial facility.

Cases No. 10694-P-1 through P-22 – The City Plan Commission and City Council approved several preliminary and final development plans for developments within Hunt Midwest Business Park between 1989 and 2013.

SD 0956F, Final Plat, Hunt Midwest Business Park, Fourth Plat – Ordinance No. 120825 passed by City Council on September 27, 2012 approved a final plat on about 12 acres, in District M1-5 /US (manufacturing 1-5/underground space) and District R-7.5 (residential 7.5), generally located on the west side of N Arlington Avenue about 800 feet south of NE Parvin Road, creating one commercial lot.

SD 0956E, Final Plat – Hunt Midwest Business Park -Third Plat - Ordinance No. 090456 passed by City Council on July 23, 2009 approved a final plat on about 50.56 acres generally located on both sides of NE Parvin Road at proposed N Arlington Avenue in District M-2a-p/US creating four commercial lots, three detention tracts and one private open space tract.

EXISTING CONDITIONS:

The Hunt Midwest Business Park is a 1,160 acre industrial limited district plan area bisected by NE Parvin Road beginning about one mile east of I-435 and continuing another mile east to the Village of Birmingham. Ordinance No. 140944 passed by City Council on November 6, 2014, approved an amendment to a previously approved Chapter 80 Preliminary Development plan in District M-2a-p/US (Heavy Industry - Limited District/Underground Space), that allows serves as the preliminary plat.

The proposed final plat area consists of platted Lots of Hunt Midwest Business Park and unplatted parcels totaling about 190 acres. Northeast Parvin Road and N. Arlington Avenue are partially constructed streets along the platted frontage with sidewalks curbs and gutter. Northeast Parvin Road is classified as a four-lane thoroughfare (non-bicycle route) by the City's Major Street Plan, with a minimum right of way width of 100 feet. North Arlington Avenue is not identified in the City's Major Street Plan.

PLAT REVIEW:

This fifth final plat proposes to create five (5) industrial lots and three (3) tracts on the north, east and south of the intersection of N. Arlington Avenue and NE Parvin Road. It is a replat of Lots 18 through 22 and Tract E of Hunt Midwest Business Park 3rd Plat. The plat proposes to extend NE Parvin Road about 1,365 feet west to future N. Hughes Road (the westerly boundary of the Village of Birmingham). Northeast Parvin Road is proposed to be realigned northwards about 110 feet.

Although this final plat can vacate the portion of NE Parvin Road right of way, it is the responsibility of the developer to ensure that the Utility Comment Sheets are properly executed prior to Mylar approval. North Arlington Road is constructed curbs, gutter and sidewalks for a distance of about 650 feet north of NE Parvin Road. The plat proposes to extend N. Arlington Avenue about 1,000 feet north to the plat boundary. North Hughes Road, a portion of NE Parvin Road and part of Hilton Additions subdivision were vacated by City Council in October 2015.

The applicant is proposing a final plat for five (5) industrial lots and three (3) tracts on approximately 190 acres. The proposed lots are Lot 32 through 36 and Tracts E-1, H and I. All the proposed lots have frontage on NE Parvin Road and N.

Staff Report

SD 0956G, Final Plat - Hunt Midwest Business Park - Fifth Plat

February 2, 2016

Page 5

Arlington Avenue. Proposed lot sizes are: Lot 32 = 4.81 acres; Lot 33 = 57.91 acres; Lot 34 = 14.56 acres; Lot 35 = 35.44 acres; Lot 36 = 20.94 acres. The proposed plat meets the zoning requirements of M1-5 (Manufacturing 1-5) in terms of lot sizes.

The plat shows a 20 foot building and parking setback line along the street right of way, per the preliminary plan. Future lots in the balance of the overall plan will be platted directly to the north, east and south.

COMMENT: Staff finds this final plat in substantial conformance with the approved preliminary plan. Conditions of approval include those applicable from the preliminary plan Ordinance No. 140944 (Case No. 10994-P-25).

RECOMMENDATIONS:

City Planning and Development Staff recommends approval of **SD 0956G, Final Plat - Hunt Midwest Business Park - Fifth Plat** based on the application, plans, and documents provided for review prior to the hearing and subject to the following conditions:

1. That plat be revised to show:
 - a. All corrections identified in the Land Development Division final plat checklist.
 - b. Add the City Plan Commission approved date once the plat has been recommended for approval by the City Plan Commission.
 - c. And label all existing easements within and adjacent to Plat boundaries including but not limited to; temporary cul-de-sac easement at the north end of N. Arlington Avenue and drainage easements from Special Warranty Deed (Bk 1905, Pg 119).
 - d. Label and dimension all proposed easements.
 - e. Provide additional Street Grades for NE Parvin Road past Sta. 82+79.92.
 - f. Provide additional Street Grades for N Arlington Ave past Sta. 56+80.81.
 - g. Provide tangent segment between reverse curves, per KCMO Design Criteria on NE Parvin Road, east of N Arlington Avenue.
2. Further revisions and/or corrections of Land Development Division.

Staff Report

SD 0956G, Final Plat - Hunt Midwest Business Park - Fifth Plat

February 2, 2016

Page 6

3. That the developer/ applicant submit all required signed Utility Comment Sheets to Development Management Division staff prior to Mylar approval.
4. That the developer dedicate 40 feet of Right-of-Way for NE Parvin Road, N. Arlington Avenue as required Chapter 88 as measured from the centerline of the road, along those areas being platted, and subject to approval recommendations from the Transportation and Development Committee to re-establish NE Parvin Road and N. Arlington Avenue to Established Arterial Standards prior to City Plan Commission approval, otherwise dedicate Right-of-Way per the Major Street Plan requirements.
5. That the developer must subordinate to the City all private interest in the area of any right-of-way dedication, in accordance with Chapter 88 and as required by the Land Development Division, and that the owner/developer shall be responsible for all costs associated with subordination activities now and in the future.
6. That the developer must pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.
7. That the developer must submit a revised Macro and a detailed Micro storm drainage study, including a BMP level of service analysis, and that the developer secure permits to construct any improvements as required by the Land Development Division prior to recording the plat.
8. That the owner/developer must submit plans for grading, siltation, and erosion control to Land Development Division for review, acceptance, and permitting for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
9. That the developer secure a Site Disturbance permit from the Land Development Division prior to beginning any construction, grading, clearing, or grubbing activities, if the disturbed area equals one acre or more during the life of the construction activity.
10. That the developer must improve NE Parvin Road and N. Arlington Avenue to the plat boundaries per City Standards, as required by the Land Development Division, including curb and gutter, storm sewers, street lights, and sidewalks.

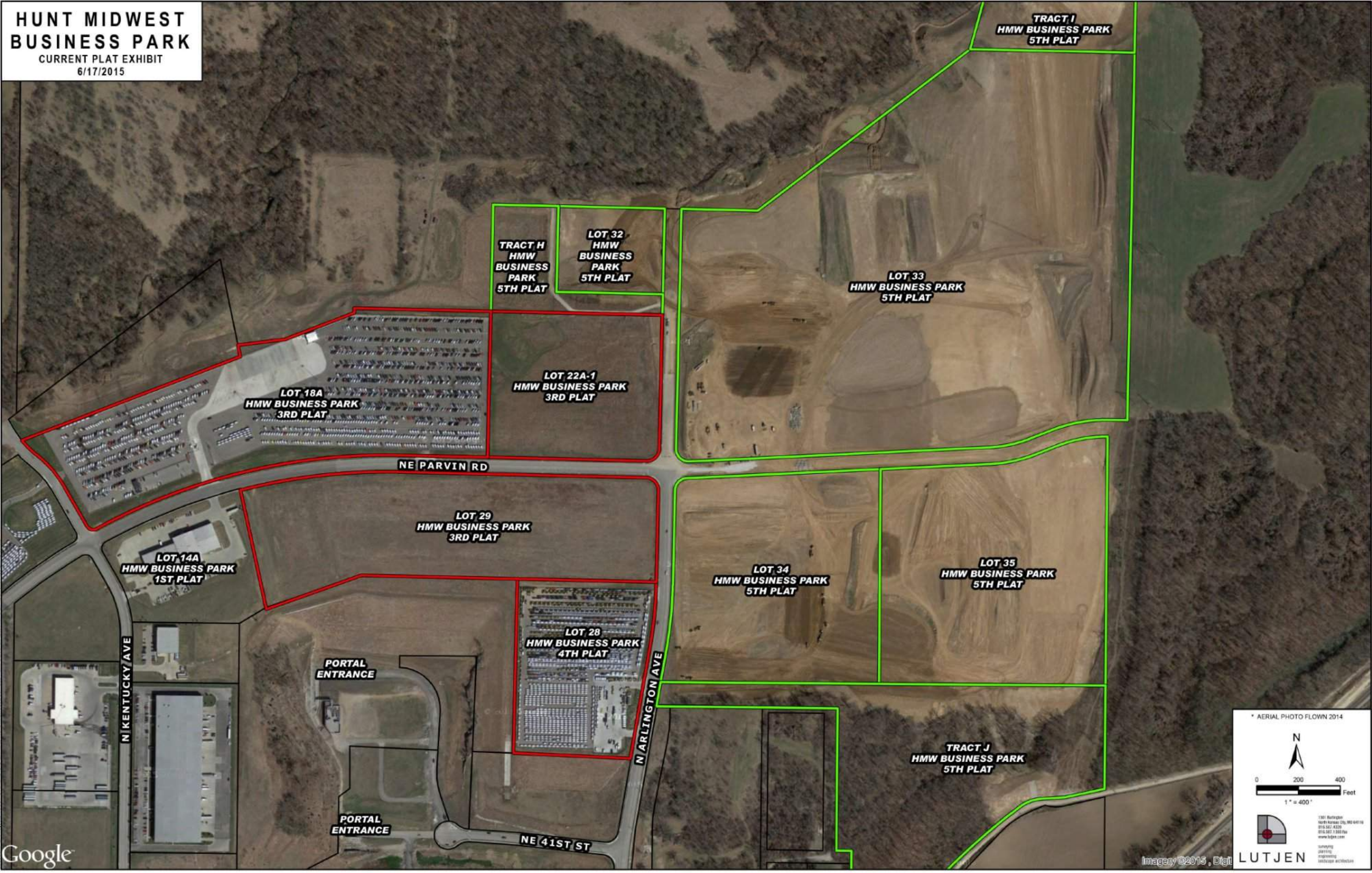
11. That the developer must secure permits to extend sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Land Development Division, prior to recording the plat or issuance of a building permit whichever occurs first.
12. That the developer must construct a sidewalk along platted street frontage, as required by the Land Development Division.
13. That the developer must obtain the executed and recorded city approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting.
14. That the developer must construct temporary off-site cul-de-sacs as required by the Land Development Division.
15. That the developer must enter into a covenant agreement for the maintenance of any stormwater detention area tracts as required by the Land Development Division, prior to recording the plat. The covenant shall include prior lots served by the stormwater facility modified by this project.

Respectfully submitted,

A handwritten signature in dark ink, appearing to read 'Olofu O. Agbaji', written in a cursive style.

Olofu O. Agbaji
Planner

**HUNT MIDWEST
BUSINESS PARK**
CURRENT PLAT EXHIBIT
6/17/2015




* AERIAL PHOTO FLOWN 2014

N

0 200 400 Feet

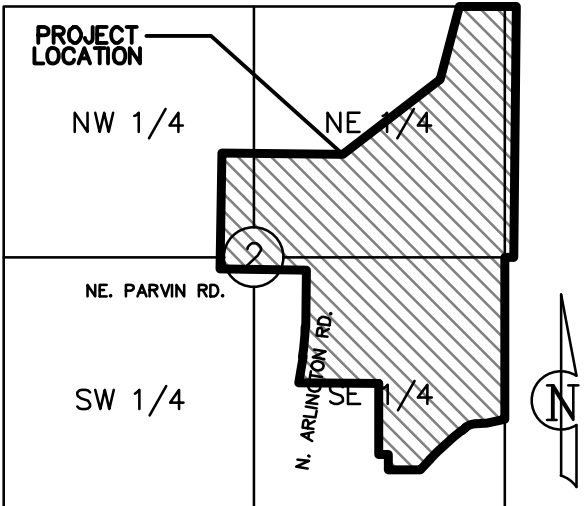
1" = 400'

 LUTJEN

1301 Rutledge
North Kansas City, MO 64116
816.567.4100
816.567.1200 Fax
www.lutjen.com

surveying
grading
engineering
landscape architecture

FINAL PLAT OF
HUNT MIDWEST BUSINESS PARK—FIFTH PLAT
SEC. 1 & 2 – Twp. 50 N. – Rge. 32 W.
KANSAS CITY, CLAY COUNTY, MISSOURI



LOCATION MAP
Sec. 2, Twp. 50 N., Rge. 32 W.
(N.T.S.)

PROPERTY DESCRIPTION:

All of LOT 22A of the MINOR LOT CONSOLIDATION, LOT 18 HUNT MIDWEST BUSINESS PARK—SECOND PLAT AND LOTS 19, 20, 21 & 22 HUNT MIDWEST BUSINESS PARK—THIRD PLAT, as recorded in Book H, at Page 53 of Clay County, Missouri, records; all of TRACT E, HUNT MIDWEST BUSINESS PARK—THIRD PLAT, as recorded in Book H, at Page 16 of Clay County, Missouri, records, and part of HILTON'S ADDITION TO BIRMINGHAM, as recorded in Book A, at Page 29 of Clay County, Missouri, records; along with unplatted land in Sections 1 and 2, Township 50 North, Range 32 West of the 5th Principal Meridian in Kansas City, Clay County, Missouri being bounded and described as follows:

Beginning at the Northeast corner of the Southeast Quarter of said Section 2; thence South 00°28'16" West, along the East line of said Southeast Quarter, 1,689.13 feet to a point on the Northerly right-of-way line of Lindenman Avenue, as now established; thence South 77°58'57" West, along said Northerly right-of-way line, 193.78 feet; thence South 86°40'02" West, continuing along said Northerly right-of-way line, 113.48 feet; thence Westerly, continuing along said Northerly right-of-way line, along a curve to the left being tangent to the last described course with a radius of 190.00 feet, a central angle of 34°29'04" and an arc distance of 114.36 feet; thence South 52°10'58" West, continuing along said Northerly right-of-way line, 47.29 feet; thence Southwesterly, continuing along said Northerly right-of-way line, along a curve to the left being tangent to the last described course with a radius of 3,240.00 feet, a central angle of 07°56'55" and an arc distance of 449.49 feet; thence South 44°14'03" West, continuing along said Northerly right-of-way line, 147.69 feet; thence North 89°09'32" West, 331.58 feet to the Southwest corner of Lot 4, Block 6, said HILTON'S ADDITION TO BIRMINGHAM; thence North 00°30'06" East, along the West line of said Lot 4, 218.60; thence North 89°09'32" West, 72.63 feet; thence North 00°34'02" East, 682.05 feet; thence North 89°18'49" West, 865.42 feet to a point on the Easterly right-of-way line of N. Arlington Avenue, as now established; thence North 10°01'03" East, along said Easterly right-of-way line, 275.93 feet; thence Northerly, continuing along said Easterly right-of-way line, along a curve to the left being tangent to the last described course with a radius of 2,040.00 feet, a central angle of 08°41'49" and an arc distance of 309.65 feet; thence North 01°19'14" East, continuing along said Easterly right-of-way line, 593.42 feet to a point on the Northerly right-of-way line of NE Parvin Road as now established; thence North 88°41'54" West, along said Northerly right-of-way line, 139.98 feet to a point on the West right-of-way line of said N. Arlington Avenue; thence Northerly, along said West right-of-way line, along a curve to the left, having an initial tangent bearing South 88°41'54" East with a radius of 60.00 feet, a central angle of 89°58'52" and an arc distance of 94.23 feet; thence North 01°19'14" East, continuing along said West right-of-way line, 640.02 feet; thence North 88°41'54" West, 821.73 feet; thence North 01°18'06" East, 510.91 feet; thence South 88°41'54" East, 1,264.03 feet; thence North 52°48'00" East, 1,277.24 feet; thence North 15°23'18" East, 831.41 feet to a point on the North line of said Northeast Quarter; thence South 89°31'30" East, along said North line, 456.61 feet to the Point of Beginning. Containing 7,948,358 square feet or 182.47 acres, more or less.. All lying above the Winterset Ledge of limestone rock.

PLAT DEDICATION:

The undersigned owners of the above described tract of land have caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereafter be known as:

HUNT MIDWEST BUSINESS PARK—FIFTH PLAT

EASEMENT DEDICATION:

An easement is hereby granted to Kansas City, Missouri, for the purpose of locating, constructing, operating, and maintaining facilities for water, gas, electricity, sewage, telephone, cable tv and surface drainage, and grading, including, but not limited to, underground pipes and conduits, pad mounted transformers, services pedestals, any or all of them upon, over, under and along the strips of land designated utility easements (U.E.), provided that the easement granted herein is subject to any and all existing easements. Any utilities located within the designated utility easements, by virtue of their existence, do hereby consent, and agree that they shall be subordinate to said public right of way in the event that additional public right of way is dedicated over the location of the utility easement. Where other easements are designated for a particular purpose, the use thereof shall be limited to that purpose only. All of the above easements shall be kept free from any and all obstructions which would interfere with the construction or reconstruction and proper, safe and continuous maintenance of the aforesaid uses and specifically there shall not be built thereon or thereover any structure (except driveways, paved areas, grass, shrubs and fences) nor shall there be any obstruction to interfere with the agents and employees of Kansas City, Missouri, and its franchised utilities from going upon said easement and as much of the adjoining lands as may be reasonably necessary in exercising the rights granted by the easement. No excavation or fill shall be made or operation of any kind or nature shall be performed which will reduce or increase the earth coverage over the utilities above stated or the appurtenances thereto without a valid permit from the Department of Public Works as to utility easements, and/or written approval of the Director of Water Services as to water main easements.

DRAINAGE EASEMENT:

A drainage easement (D.E.) for the purpose of storm water drainage including the right to build, construct, keep, repair and maintain storm water drainage facilities under, in, over, and upon as may be necessary, being and situated in Kansas City, Missouri ("The City") is hereby granted to The City. The City shall have the right at all times to go upon the lands herein described to construct, maintain and repair the said drainage facilities as may be necessary. Nothing shall in any way interfere with the safe and unrestricted use of the land adjacent to and above said drainage facilities, nor attempt to use said property in such manner as would interfere with the proper, safe and continuous maintenance and use of said drainage facilities and specifically shall not build thereon or thereover any structure which may interfere with the maintenance and use thereof.

SEWER EASEMENT:

A sewer easement (S.E.) for the location, construction, reconstruction, maintenance, operation and repair of sewerage improvements and any and all appurtenances incidental thereto in, under, upon, over and through land lying, being and situated in Kansas City, Missouri ("The City") is hereby granted to The City. By the granting of this easement, it shall not be construed to prohibit development of any adjoining property or from the laying out, establishing and constructing pavement, surfacing of roadways, curbing and gutters along, upon, over or across said easement or any portion thereof; provided, however, said easement shall be kept free from additional depth of overburden, buildings, and any other structure or obstruction (except sidewalks, roadways, pavement, grass, shrubs, fences, or curbs), which will interfere with the City in entering upon said adjacent land and easement for the purpose of laying, constructing, reconstructing, operating, repairing and maintaining such sewerage improvements and appurtenances.

STREET DEDICATION:

Streets shown hereon and not heretofore dedicated for public use as street right-of-way are hereby dedicated.

BUILDING LINES:

Building lines or setback lines are hereby established as shown on the accompanying plat and no buildings or portion thereof shall be built between this line and the street line.

FLOODPLAIN:

According to "Flood Insurance Rate Map" Community Panel No. 2901730065B, map revised August 5, 1986, as published by the Federal Emergency Management Agency, this property lies within Flood Zone "C" (Areas of Minimal Flooding).

MAINTENANCE OF TRACTS:

TRACTS E-1, H, & I:

Tracts E-1, H, & I (Storm Water Detention and BMP Facility) is to be used for detention and shall be maintained by the owners of the lots, tracts and parcels shown within this plat pursuant to the Covenant to Maintain Storm Water Detention and BMP Facility, Plat of Hunt Midwest Business Park—Fifth Plat, recorded simultaneously with this plat.

RIGHT OF ENTRANCE:

The right of entrance and egress in travel along any street or drive within the boundaries of the property is hereby granted to Kansas City, Missouri, for the purpose of Fire and Police Protection, maintenance of water mains, sanitary and storm sewer lines, collection of garbage and refuse and to the United States Postal Service for the delivery of mail; provided, however, such right of ingress and egress does not include any obligation to contribute for any damage to any private street or drive by virtue of the exercise of the rights stated herein and specifically, neither Kansas City, Missouri nor the U.S. Postal Service shall incur any liability by virtue of the exercise of such rights.

STREET GRADES:

Street Grades for a portion of NE. Parvin Road have been previously established by Ordinance Number 090456 being passed on July 23, 2009.

Street Grades for a portion of N. Arlington Avenue have been previously established by Ordinance Number 090456 being passed on July 23, 2009.

NE. PARVIN ROAD:

GRADE POINT	ELEV.	DESC.	V.C.T.
15+88.62	840.49	START	
16+25.00	839.74	P.V.I.	67.20'
20+00.00	833.50	P.V.I.	165.00'
25+50.00	828.00	P.V.I.	250.00'
33+00.00	837.44	P.V.I.	250.00'
36+13.39	843.11	END	

N. ARLINGTON AVENUE:

GRADE POINT	ELEV.	DESC.	V.C.T.
73+41.19	815.12	START	
77+63.21	829.95	P.V.I.	100.00'
80+25.00	832.57	P.V.I.	101.00'
80+75.50	834.95	END	

DEVELOPER:

Hunt Midwest Real Estate Development, Inc.
8300 NE Underground Drive
Kansas City, MO 64161
816-455-2500

IN WITNESS WHEREOF:

HUNT MIDWEST REAL ESTATE DEVELOPMENT, INC., a Missouri corporation licensed to do business in the State of Missouri, has caused these presents to be executed this _____ day of _____, 2015.

HUNT MIDWEST REAL ESTATE DEVELOPMENT, INC.
a Missouri Corporation

Ora H. Reynolds President Donald K. Hagan Secretary

STATE OF _____ SS:
COUNTY OF _____

Be it remembered that on this _____ day of _____, 2015, before me, the undersigned, a Notary Public in and for the County and State aforesaid, came Ora H. Reynolds to me personally known, who being by me duly sworn, did say that she is President of Hunt Midwest Real Estate Development, Inc., a Missouri corporation and that said instrument was signed in behalf of said corporation and that said Ora H. Reynolds, acknowledged said instrument to be the free act and deed of said corporation.

IN WITNESS WHEREOF:

I have hereunto set my hand and affixed my Notarial Seal in the date herein last above written.

My Commission Expires: _____

Notary Public

CITY PLAN COMMISSION:

Approved:

Babette Macy
Chairman

Diane M. Binkley
Asst. Secretary

PUBLIC WORKS:

Ralph S. Davis, P.E.
City Engineer

Sherri K. McIntyre, P.E.
Director of Public Works

CITY COUNCIL:

This is to Certify that the within Plat was duly submitted to and Approved by the Council of Kansas City, Missouri, by Ordinance No. _____ duly authenticated as passed this _____ day of _____ 2015.

Sylvester "Sly" James, Jr.
Mayor

Marilyn Sanders
City Clerk

SURVEYORS NOTES:

1. Property information referencing this survey was taken from the Commitment for Title Insurance Report, issued by Kansas City Title, Commitment No. KCT-171908, Effective June 24, 2013 at 8:00 a.m.

2. Bearings used hereon are based on the Missouri State Plane Coordinate System, NAD 1983, West Zone using Missouri Department of Natural Resources Monument "BUSTER 3" with a grid factor of 0.99990085. All Coordinates shown are in meters.

This plat and survey of HUNT MIDWEST BUSINESS PARK—FIFTH PLAT were executed by Lutjen, Inc., 1301 Burlington Street #100, North Kansas City, Missouri 64116.

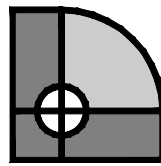
I HEREBY CERTIFY: that the Plat of HUNT MIDWEST BUSINESS PARK—FIFTH PLAT subdivision is based on an actual survey made by me or under my direct supervision and that said survey meets or exceeds the current Missouri Minimum Standards for Property Boundary Surveys as established by the Missouri Board for Architects, Professional Engineers, Professional Surveyors and Landscape Architects, and the Missouri Department of Natural Resources. I further certify that I have complied with all statutes, ordinances, and regulations governing the practice of surveying and platting of subdivisions to the best of my professional knowledge and belief.



Jason S. Roudebush, MO PLS 2002014092
November 25, 2015
jrroudebush@lutjen.com

Date of Survey:
07-17-13
Revisions:
11-14-13
04-28-14
08-06-14
08-22-14
08-28-14
11-26-15

Surveyed By:	JSAV
Reviewed By:	JSR
Drafted By:	JAMB
Lutjen Project No.:	13051



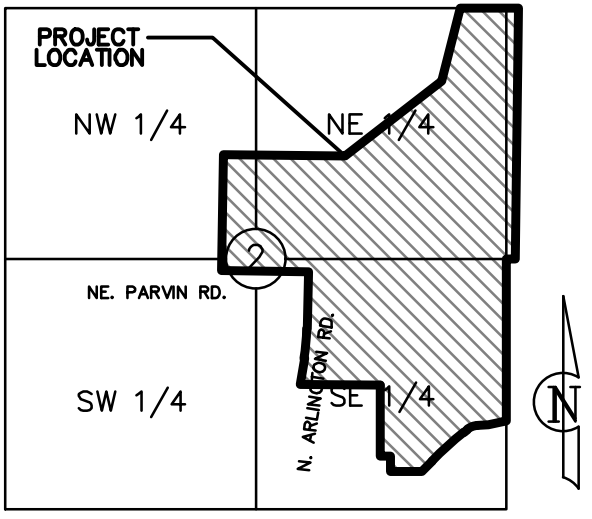
LUTJEN

1301 Burlington, #100
North Kansas City, MO 64116
816.587.4320
816.587.1393 fax
www.lutjen.com

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planning
engineering
landscape architecture

Sheet No.:
1 of 2

FINAL PLAT OF
HUNT MIDWEST BUSINESS PARK
-FIFTH PLAT
SEC. 1 & 2 - Twp. 50 N. - Rge. 32 W.
KANSAS CITY, CLAY COUNTY, MISSOURI

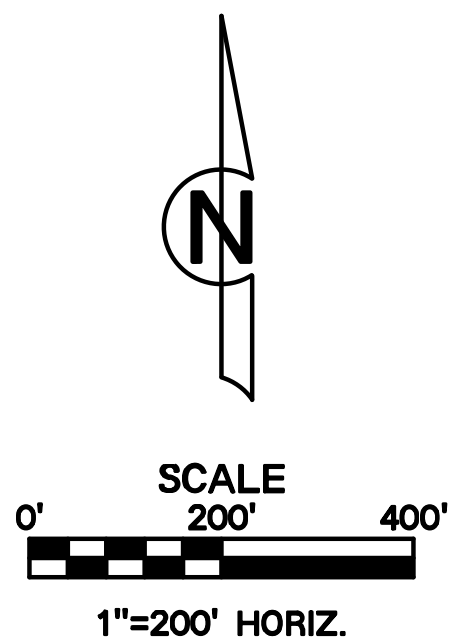


LOCATION MAP
Sec. 2, Twp. 50 N., Rge. 32 W.
(N.T.S.)

MO-DNR MONUMENT
BUSTER 3
N: 333968.004
E: 850686.880

STATE PLANE COORDINATE TABLE		
Point Number	Grid Northing	Grid Easting
1	333654.5402m	853716.8007m
2	333139.7598m	853712.5678m
3	333127.4629m	853654.8024m
4	333125.4523m	853620.2751m
5	333113.3882m	853588.1365m
6	333104.5520m	853576.7520m
7	333013.3310m	853474.6967m
8	332981.0797m	853443.2963m
9	332982.5630m	853342.2527m
10	333049.1839m	853342.8361m
11	333049.5088m	853320.7035m
12	333257.3684m	853322.7612m
13	333260.5286m	853059.0245m
14	333343.3430m	853073.6532m
15	333437.1647m	853082.9668m
16	333617.9743m	853087.1351m
17	333618.9434m	853044.4853m
18	333636.8035m	853063.1811m
19	333831.8108m	853067.6767m
20	333837.4999m	852817.3018m
21	333993.1693m	852820.8389m
22	333984.4180m	853205.9793m
23	334219.7668m	853516.0394m
24	334464.0704m	853583.2784m
25	334462.9170m	853722.4342m
26	334462.2826m	853761.0259m
27	333654.3371m	853745.3423m

DEVELOPER:
Hunt Midwest Real Estate Development, Inc.
8300 NE Underground Drive
Kansas City, MO 64161
816-455-2500



PLAN LEGEND

EASEMENTS
D.E. STORM DRAINAGE EASEMENT
S.E. SANITARY SEWER EASEMENT
U.E. UTILITY EASEMENT
W.E. WATER EASEMENT
S.D.E. SURFACE DRAINAGE EASEMENT
E.E. ELECTRIC EASEMENT

SETBACKS
B.S. BUILDING SETBACK

MISC.
R RADIUS
L ARC DISTANCE
D DELTA / CENTRAL ANGLE
I.T.B. INITIAL TANGENT BEARING
C/L CENTERLINE
C/W RIGHT OF WAY
B.M.P. BEST MANAGEMENT PRACTICE

SURVEY MARKERS
● MO DNR SURVEY MONUMENT
□ FOUND SECTION CORNER (MONUMENTATION AS NOTED)
○ FOUND PROPERTY CORNER (MONUMENTATION AS NOTED)
■ SET 5/8" IRON REBAR WITH ALUMINUM CAP TO BE SET UPON COMPLETION OF CONSTRUCTION.
● SET 1/2" IRON BAR WITH PLASTIC CAP TO BE SET UPON COMPLETION OF CONSTRUCTION. (1/2" BARS WITH CAPS WILL ALSO BE SET ON ALL LOT AND TRACT CORNERS)

SURVEYORS NOTES:

1. Property information referencing this survey was taken from the Commitment for Title Insurance Report, issued by Kansas City Title, Commitment No. KCT-171908, Effective July 25, 2014 at 8:00 a.m.
2. Bearings used hereon are based on the Missouri State Plane Coordinate System, NAD 1983, West Zone using Missouri Department of Natural Resources Monument "BUSTER 3" with a grid factor of 0.99990085. All Coordinates shown are in meters.

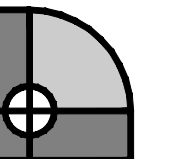
This plat and survey of HUNT MIDWEST BUSINESS PARK-FIFTH PLAT were executed by Lutjen, Inc., 1301 Burlington Street #100, North Kansas City, Missouri 64116.

I HEREBY CERTIFY: that the Plat of HUNT MIDWEST BUSINESS PARK-FIFTH PLAT subdivision is based on an actual survey made by me or under my direct supervision and that said survey meets or exceeds the current Missouri Minimum Standards for Property Boundary Surveys as established by the Missouri Board for Architects, Professional Engineers, Professional Surveyors and Landscape Architects and the Missouri Department of Natural Resources. I further certify that I have complied with all statutes, ordinances, and regulations governing the practice of surveying and platting of subdivisions to the best of my professional knowledge and belief.



Jason S. Roubesh, MO PLS 2002014092
November 25, 2015
jroubesh@lutjen.com

Date of Survey:	
07-17-13	
Revisions:	
11-14-13	
04-28-14	
08-06-14	
08-22-14	
08-26-14	
08-19-15	
09-29-15	
11-26-15	
Surveyed By:	JSJV
Reviewed By:	JSR
Drafted By:	JAMB
Lutjen Project No.: 13051	



LUTJEN

1301 Burlington, #100
North Kansas City, MO 64116
816.587.4320
816.587.1393 fax
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landscape architecture

Sheet No.:
2 of 2

SD 0974 E, Final Plat – The Woods of Somerset Replat-- To consider approval of a final plat on about 3 acres in District R-7.5 (Residential dash 7.5), generally located on the east side of Wornall Road and the north and south side of E. 122nd Street, to allow for setback modifications to Lots 26 through 36.





City Planning & Development Department

Development Management Division

15th Floor, City Hall
414 East 12th Street
Kansas City, Missouri 64106-2795

Ph: 816 513-8801
Fax: 816 513-2838

STAFF REPORT

February 2, 2016

(3)

RE: **SD 0974 D, Final Plat, The Woods of Somerset**

APPLICANT: Steve Warger
Warger & Associates
1617 Swift
North Kansas City, MO 64116

OWNER: Woods of Somerset Partners, LLC
804 N. Meadowbrook Drive, Suite 102
Olathe, KS 66062

AGENT: Huffman & Associates
P. O. Box 661
Raymore, MO 64083

LOCATION: Generally located on the east side of Wornall Road and the north and south side of E. 122nd Street.

AREA: Approximately 3 acres.

REQUESTS: To consider approval of a final plat in District R-7.5 (Residential 7.5), replatting Lots 26-36 to allow for setback modifications.

SURROUNDING LAND USE:

North:	zoned R-7.5, future single family residences within Woods o Somerset.
South:	zoned R-1.5, Lutheran High School of Kansas City.
East:	zoned R-7.5, Single Family residences, Somerset Hills.
West:	zoned R-7.5, Single Family residences, Timber Trace and Blue Hills East subdivisions.

LAND USE PLAN: The South Development Area Plan, approved in 1971 and last amended by Resolution No. 010819 passed 6-13-01, identifies the site for residential.

MAJOR STREET PLAN: Wornall Road is identified as a "2 Through Lane Street" (with one lane in each direction and a center turn lane). East 122nd Street is not identified by the City's Major Street Plan.

PLAN for PARKS, RECREATION, BOULEVARDS and GREENWAYS: Adopted by the Board of Parks and Recreation Commission on October 12, 1993, shows the area of the floodplain to the north as part of the Santa Fe Trace Greenway from Blue River west to Migliazzo Park.

PREVIOUS CASES:

SD 0974 D, Final Plat – The Woods of Somerset -- Ordinance No. 140163 passed by City Council on March 27, 2014 approved a final plat in District R-7.5 (Residential dash 7.5), on about 16.54 acres, generally located at the southeast corner of Martha Truman Road and Wornall Road to allow for 36 single family lots and 2 tracts.

SD0974C, Final Plat – The Woods of Somerset – Ordinance No. 041020 passed by City Council on November 30, 2006 approved a final plat for 36 single family lots and parkland on approximately 16.5 acres subject to conditions. Third Committee Substitute Ordinance No. 081182 which was to repeal Ordinance No. 041020 was released on January 17, 2013, thereby necessitating the need for the final plat.

SD 0974B, Preliminary Plat, The Woods of Somerset – Committee Substitute Ordinance No. 030465 passed on August 7, 2003 approved a preliminary plat for 36 single family lots and parkland in District R-1a, (One family dwellings, medium density).

Case No. 4031-PD-11 - To consider an amendment to a previously approved development plan in District PD/RA, R4O (Planned District, Agricultural, low apartment, administrative office building district) to delete the northerly 8 acres from the plan to allow for the existing office development on the southerly 28 acres. Ordinance No. 030463 released on January 7, 2004.

Case No. 4031-P-12 - Ordinance No. 030464 passed on August 7, 2003 rezoned a 16.5 acre tract of land from Districts PD/RA, (Planned district, agricultural, low apartment, administrative office building district) and RA, (Agricultural) to District R-1a, (One family dwellings, medium density).

Case Nos. 4036-PD-9, 4036-PD-10, SD 0974, Preliminary Plat - The Woods of Somerset and SD 0974A, Final Plat - The Woods of Somerset – On October 2, 2001, a motion for denial failed on a 2-2 vote of the City Plan Commission with no recommendation forwarded to the City Council.

Case No. 4031-A-8 – On July 9, 1996, the Board of Zoning Adjustment granted a use variance to allow a 120 feet tall monopole tower.

Case No. 10895-A – On July 24, 1990, the Board of Zoning Adjustment approved height and area variances for a sign to identify the conference center subject to conditions.

Case No. 4031-PD-5 – Amended a development plan to allow for additional parking for the existing NOMDA office development for 243 parking spaces. (Ordinance No. 60431 passed January 16, 1987).

SD0289, Final Plat-NOMDA Center – Approved two lots in District PD/RA, R4O, (Ordinance No. 61629 passed 10-22-87).

Case No. 4031-A-4 – On January 29, 1985, the Board of Zoning Adjustment approved a variance to the required 220 parking spaces for 116 spaces for an office building.

Case Nos. 4031-P-1, P-2, & PD-3 – Rezoned approximately 29 acres from RA to R4, and R4O, and 36 acres to PD/RA, R4O and approved a development plan for conversion of the Loretto School into 98,910 square feet of offices, retention of an existing single family residence and 106 parking spaces, (Ordinance Nos. 57505, 57506, and 57507 passed February 28, 1985).

Case No. 4031-A – On April 23, 1963, the Board of Zoning Adjustment approved a Special Use Permit for the Mount Loretto Girls High School in District RA, (Agriculture).

BACKGROUND:

On November 30, 2006, the City Council passed Ordinance No. 041020 approving the plat of The Woods of Somerset. Section 66-45(f) of the Code of Ordinances provides that if the plat has not been recorded within two years of the effective date of the Ordinance approving the plat, such approval shall become null and void. The final plat of The Woods of Somerset became effective on December 10, 2006, and the plat was to have been recorded by December 10, 2008, or approval of the plat became null and void. The developer of the property, Woods of Somerset, LLC, was involved in a dispute with two contractors that performed work for the development who filed mechanics liens against the property, including the right-of-way that is being dedicated to the City. Section 66-44(b)(14) of the Code of Ordinances requires that all right-of-way dedicated to the City be free and clear of all liens and

encumbrances.

The City Council repealed Ordinance No. 041020 and passed a new Ordinance No. 081182 that approves the plat in order to allow the developer an additional two years to resolve the dispute in court. This ordinance was released off the City Council docket on January 17, 2013. Ordinance No. 140163 passed by City Council on March 27, 2014 approved a final plat in District R-7.5 (Residential dash 7.5), on about 16.54 acres, generally located at the southeast corner of Martha Truman Road and Wornall Road to allow for 36 single family lots and 2 tracts.

EXISTING CONDITIONS:

The approximately 16.5 acre site proposed for single family lots is south of an approximately 70 to 100 feet deep section of floodplain area dedicated to the city as public parkland south of existing Martha Truman Road known as the Santa Fe Trace Greenway. The public improvements (streets, water, sewer curbs and gutter) have been installed in this development and have been inspected and accepted by the city. The site rises in elevation approximately 80 feet from the southern boundary to the north. There is 35 feet deep parkland (Tract A) on the north side of Lots 26 through 36 just south of the existing greenway.

To the north, on the north side of Martha Truman Road, is the existing subdivision of Somerset Valley. Wornall Road is a two-lane street with no curbs, gutters or sidewalks except for a section in front of the Somerset Valley development to the north, which includes a northbound turn lane to the entrance to this subdivision at Martha Truman Road and a northbound acceleration lane north of Martha Truman Road.

PLAT REVIEW & ANALYSIS:

This applicant is requesting approval of a final plat in District R-7.5 (Residential 7.5), on approximately 3 acres, to replat the recently platted Lots 26 through 36 of the Woods of Somerset plat. Because of the existing greenway along the north property line, the preservation buffer within Tract A and the existing retaining wall along the northerly property line, the developer would like to amend the plat to provide a 5' relief from the platted setback. This will affect the eleven lots on the north side of East 122nd Street. Lots 26 through 36 averages about 0.24 acres in size, 85 feet in width and 120 feet in depth.

The residents of Somerset Valley on the south side of Martha Truman expressed concern about the stability of the retaining wall on the south side of E. 122nd

Street. Staff recommended that the retaining wall be inspected and certified by a registered engineer. The developer did inspect the wall, performed the necessary repairs and submitted a report to Development Services attesting to the structural integrity of the retaining wall. This was done prior to Mylar approval of the final plat.

RECOMMENDATION:

City Planning and Development Department staff recommends approval of SD 0974 E, Final Plat, The Woods of Somerset Replat subject to the following conditions:

1. That plat be revised to show:
 - a. All corrections identified in the Land Development Division final plat checklist dated January 28, 2016.
2. Further revisions and/or corrections of Development Services.
3. That the developer submit an approved street tree planting plan to the Development Management Division prior Mylar approval of this final plat.
4. That the developer submit an affidavit stating that all of the Street Trees have been installed for all previously approved lots within Somerset Development that have been issued a certificate of occupancy, prior to Mylar approval.
5. That the developer inspect the retaining wall on the south side of E. 122nd Street and submit a report to performed by a registered engineer to Development Services attesting to the structural integrity of the retaining wall. Any necessary repairs shall be performed prior to Mylar approval of this final plat.
6. That the developer submit a storm drainage study for the entire development to the City Engineers Office for approval and that the developer make any improvements as required by Land Development Division.
7. That the developer submit plans for grading and siltation and erosion control to Land Development Division for approval prior to beginning any construction activities.

8. That the developer secure a land disturbance permit from Land Development Division prior to beginning any construction, grading, clearing or grubbing activities, if the disturbed area exceeds one acre.
9. That the developer extend sanitary sewers as required by the Land Development Division.
10. That the developer provide water main easements as required by Water Services Department.
11. That the project not to be released for taps until all punch list items have been completed and all final paperwork has been received by the Water Services Department.
12. That the developer improve the east half of Wornall Road to secondary arterial street standards as required by Land Development Division, including construction of curb, gutter and sidewalks and installation of sidewalks.
13. That the developer submit a street name signage plan to the Street Naming Committee for approval prior to the submittal of the first final plat.
14. That the developer provide adequate sight distance for proposed E. 122nd Street at Wornall Road as required by Land Development Division.
15. That the developer extend proposed storm sewers to the flowline of the creek to the north and repair or provide for the repair of the rip rap along the creek in the area to the north as determined by Land Development Division.
16. That the developer provide language on the final plat in the form of a preservation easement to restrict construction activity along the north limits of Lots 26-36 to limit the work to only utility construction associated with storm and sanitary sewer extensions, said easement being a minimum of 30 feet in depth or encompassing the rear of the lot 100 foot setback from the floodplain limits shown on the plan, whichever is greater, to preserve the stability of the slope and also natural vegetation as required by Land Development Division except that on Lots 35 and 36 said preservation easement shall be the greater of 30 feet in depth or 100 feet from the south bank of the creek.
17. That the developer enter into a Cooperative Agreement for a contribution of \$30,000.00 to the repair or reconstruction of the existing Holmes Road box culvert structure, which has been determined to be inadequate and to

which this development is contributing additional volume of runoff, prior to recording of the final plat as required by Land Development Division.

18. That the developer obtain grading and temporary construction easements from Lots 13 and 20, Somerset Hills, Second Plat, and remove all substandard culverts prior to permits being issued for public street improvements to construct E. 122nd Street.
19. That the project design shall incorporate the use of a temporary erosion control sediment basin to control sediment during development of land and construction of homes. The basin shall not be removed without the approval of Land Development Division.
20. The developer obtain a floodplain certificate from Development Services prior to beginning any construction activities with the floodplain.
21. The developer show the limits of the 100-year floodplain on the final plat, as required by the Land Development Division.
22. The developer show the lowest opening or elevation or Minimum Low Opening (MLO) of any structure on each lot that abuts a 100-year flood prone area on any plat and plan, as required by the Land Development Division.

Respectfully submitted,

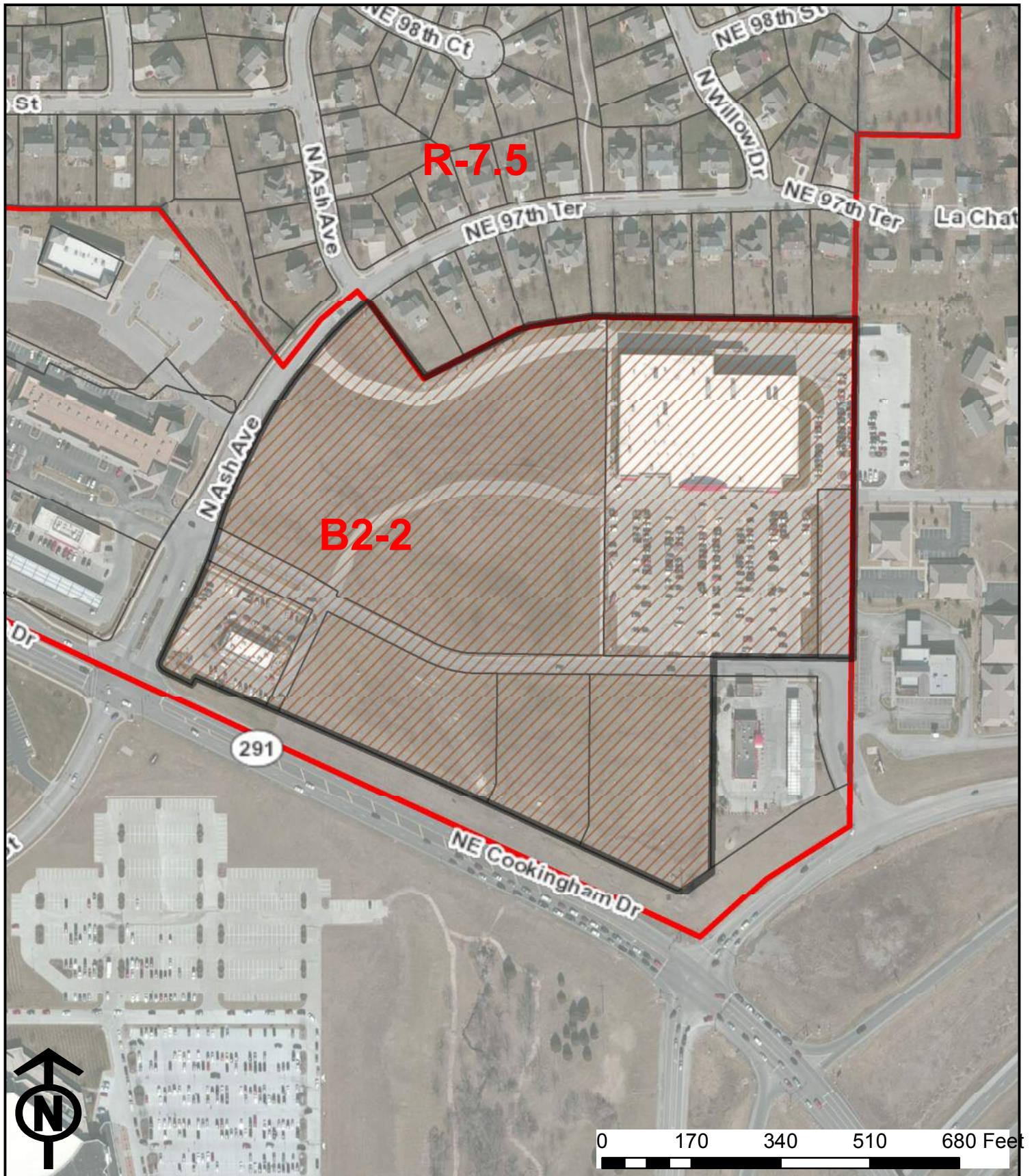
A handwritten signature in dark ink, appearing to read 'Olofu O. Agbaji', written in a cursive style.

Olofu O. Agbaji
Planner

6158-CP-36

2-2-16

Case No. 6158-CP-36 - About 22.6 acres generally located at the northeast corner of NE Cookingham Drive and N. Ash Avenue, to consider an amendment to an existing Chapter 80 plan in District CP-2 (local planned business center) to allow for the revision of a two (2) acre area in the southeast portion of the plan by adding a new business.





City Planning & Development Department

Development Management Division

15th Floor, City Hall
414 East 12th Street
Kansas City, Missouri 64106-2795

Ph: (816) 513-8801
Fax: (816) 513-2838

STAFF REPORT

February 2, 2016

(4)

RE: Case 6158-CP-36

APPLICANT/AGENT: Jeff Carter
Carter Engineering Consultants, Inc.
3651 Mars Hill Road, Suite 200
Watkinsville, GA 30677

OWNER: TAC JAX Holdings, LLC
c/o Tim Chapman
518 Rutile Drive
Ponte Vedra Beach, FL 32082

LOCATION: Generally located at the northeast corner of NE
Cookingham Drive and N. Ash Avenue.

AREA: About 23 acres.

REQUESTS: To consider an amendment to an existing Chapter 80
plan in District B2-2 (formerly CP-2 (local planned
business center)) to allow for the revision of a two (2)
acre area in the southeast portion of the plan by
adding a new business.

SURROUNDING LAND USE:

North: zoned R-7.5, Single family residences.
South: City of Liberty, Pleasant Valley Baptist Church.
East: Pour Boy gas station/ City of Liberty, Residential
and office development.
West: zoned B2-2, Highland Plaza development.

LAND USE PLAN: The Shoal Creek Valley Area Plan recommends retail
uses for this site. The proposed use is consistent with the
area plan land use designation.

ARTERIAL STREET

IMPACT FEE:

(Informational only)

Benefit District: C
Discounted Rate: \$3,193.00/ 1,000 sq. ft. (x 12,000 sq ft)
Estimated Total: \$38,316.00

MAJOR STREET PLAN: Northeast Cookingham Drive (Route 291) is classified as a Thoroughfare with 6 lanes (3 through lanes in each direction) with a minimum right-of-way of 120 feet. North Ash Avenue is not classified. The plan also shows future bike route and future trail, which will require additional right of way dedication.

PREVIOUS & RELATED CASES:

Case No. 6158-P-35 – On January 6, 2015, the City Plan Commission approve a Chapter 80 final plan in District B2-2 (Neighborhood Business 2 dash 2) on about 1 acre generally located at the northeast corner of N. Ash Avenue and NE Cookingham Drive, to allow for a restaurant with a drive-through (Dairy Queen).

Case No. BLSP-106 – On August 20, 2014, the City Planning and Development Director approved and administrative minor subdivision lot split of Lot 1, Highland Plaza to create two commercial lots. This approval is subject to extension of public sewer to serve the newly created lot.

Case No. 6158-P-34 – On July 16, 2013, the City Plan Commission approved a final plan in District B2-2 (Neighborhood Business 2 dash 2), on about 1.03 acres, generally located at the northeast corner of NE Cookingham Drive and N Ash Avenue to allow the construction of a second drive-through lane and exterior building modifications of an existing McDonald's restaurant.

Case No. 6158-CP-32 - On December 7, 2010, the City Plan Commission approved a final plan in District CP-2 (local planned business center), on about 2 acres, to allow for a 7,822 square foot drive through bank with 32 parking spaces.

Case No. 6158-CP-20 - Ordinance No. 051379, passed by City Council on December 15, 2005 approved an amendment to a previously approved preliminary development plan in District CP-2, (Local planned business center), on about 11.4 acres generally located on the north side of NE Cookingham Drive between N. Ash Avenue and N. Cedar Avenue, to allow for a gas/convenience store instead of a fast food restaurant.

Case No. 6158-CP-19 – Committee Substitute Ordinance No. 051423 passed by City Council on January 5, 2006, approved an amendment to a previously approved preliminary plan in District CP-2 on approximately a 24.49 acre tract of land generally located at the northeast corner of the intersection of N.E. Cookingham Drive and N. Ash Avenue which removes 1.92 acres from the plan and leaves 22.57 acres, allowing for 205,800 square foot of commercial development within 9 structures with 1,174 parking spaces. CURRENT APPROVED PLAN.

Case No. 6158-CP-9 – On November 19, 2002, the City Plan Commission approved a final plan to allow the construction of a 3,477 square foot McDonald's restaurant with a drive-thru lane.

Case No. 6158-CP-7 – Ordinance No. 000889, passed by City Council on August 3, 2000, rezoned an area of approximately 44.6 acres generally located on the north side of LP Cookingham Drive, west of the city limits of Liberty, Missouri and extending approximately 350 feet west of N Cedar Avenue from District R-1a (one-family dwellings, medium density) and District CP-2 (local planned business center) to District CP-2, and approval of a preliminary development plan for a retail/ office development

Case No. 6158-CP-2 – Ordinance No. 931286, passed by City Council on November 29, 1993, rezoned an area of approximately 45.3 acres generally located on the north side of LP Cookingham Drive and Missouri Route A from District CP-3 (Regional Planned Business Center) to District CP-2 (Local Planned Business Center), and approved a preliminary development plan for a retail and office center.

EXISTING CONDITIONS:

Highland Park Business Center is a commercial development located east side of NE Cookingham Drive, on both sides of North Ash Avenue. The development is more than 50% completed. Existing development within the Highland Park Business Center includes; Sonic drive-in restaurant, QT gas station, a strip center, and office building, McDonalds, Dairy Queen and a Price Choppers. The area to be amended is the 23 acres at the northeast corner of N. Ash Avenue and NE Cookingham Drive. The current approved plan allowed for 205,800 square foot of commercial development within 9 structures with 1,174 parking spaces. There is an internal private drive that connects the property from N. Ash Avenue on the west to N. Church Drive on the east.

Surrounding land uses includes single family residences (Amber Meadows) to the north. Directly south of the site is the Pleasant Valley Baptist Church in the City of Liberty. To the west are Goodwill store and Walgreens within Highland Plaza West. There is an existing Pour Boy gas station at the southeast corner of the site and some office and residential development in the City of Liberty.

PLAN REVIEW & ANALYSIS:

The applicant is requesting to amend the exiting Chapter 80 preliminary development plan to allow for the construction of two commercial buildings on Lot 3 of Highland Plaza East, Second Plat. The current approved CP plan shows a single 15,570 square foot commercial building with 241 parking spaces. The proposed amendment is to a 2 acre tract of land at the southeast corner of the development. The proposed plan shows two commercial building with 96 parking spaces. All other aspects of the approved plan will remain the same.

The proposed plan also serves as a preliminary plat to subdivide this parcel into two lots. The existing lot is platted as Lot 3 of Highland Plaza East, Second Plat. The proposal is to create a flat lot for the parcel to the south and a second lot along the private drive. The submitted plan did not include a preliminary plat sheet. Staff recommends that a preliminary plat sheet showing all the information required by the preliminary plat checklist be included with the revised plat. The internal lot is proposed be 32,424 square feet in area and the flag lot is 55,512 square feet.

Vehicular ingress/egress to the site will be provided from the existing east-west private drive to the north. The plan shows a 3,850 square foot drive-through restaurant (Zaxby's) along NE Cookingham Drive and an 8,000 square foot retail commercial building to the north. Parking for both lots is shown as a circular drive that will be connected via a cross access easement. Chapter 88-420 of the Zoning and Development Code requires 10 parking spaces per 1,000 square foot for restaurant and 2.5 parking spaces per 1,000 square foot of retail space. The proposed development meets the requirement of the Zoning and Development Code as it relates to parking.

The proposed plan did not include any building elevations. Staff recommends that the applicant submit preliminary color building elevations showing materials for construction with the revised plans. The plan shows trash enclosures along the east and west property lines of both sites. Staff recommends that the materials of the trash enclosure match that of the proposed buildings and meet requirement of Section 88-425-08. Staff also recommends that the details of the

trash enclosure confirming compliance be submitted at the time of final plan application.

The proposed preliminary landscaping shows deciduous trees throughout the site per Chapter 88-425. Shrubs are provided in clusters throughout the site and in a solid row around the parking spaces along NE Cookingham Drive. The plan is sealed by a Landscape Architect registered in the State of Missouri. The final landscaping plan will be reviewed with the final plan submittal.

The plan shows proposed monument signs and menu boards. The submitted signage and menu boards do not meet the Zoning Code requirements. Since no building elevations are provided, there are no wall signs shown. Individual buildings on parcels with a minimum of 200 feet of street frontage are permitted one monument sign not to exceed 50 square foot and six feet in height, and shall be setback 10 feet. Staff recommends that the applicant revise the submitted sign package to meet the requirement of Chapter 88-445 in its entirety.

The plan shows sidewalk connection from the restaurant to NE Cookingham Drive. There are no internal pedestrian walkways within the site and connection to the overall development. Staff recommends that the plan be revised to show direct pedestrian access within the development particularly where they cross vehicular lanes. The pedestrian access way should be delineated, signed and constructed of different materials to ensure safe navigation of the drive-through lanes and drive isles. The submitted lighting plan meets the requirement of Chapter 88-430.

The developer is required to submit a Chapter 80 final plan to the City Plan Commission prior to issuance of Building Permit. Because Chapter 80 does not have standards, the final plan shall meet the development standards of Chapter 88-400 including; plan information; property uses; setback distances; lighting (with a photometric study); landscaping, including information on (i) species, planting size, and spacing of all trees and shrubbery; (ii) color buildings and dumpster elevation drawings; (iii) fencing, if utilized, identifying material, color, height, setback and type, with an elevation drawing of a section; streetscaping; signage (including elevations); and architectural characteristics.

The DRC submitted a list of corrections and conditions to the developer informing him of the need to revise the submitted plan set. The projected commencement date is January of 2016 with anticipated completion in April of 2016. Staff also informed the developer of the need to reach out to the surrounding neighborhood prior to the CPC hearing.

RECOMMENDATIONS:

The City Planning and Development Department staff recommends that **Case No. 6158-P-36** be approved based on the application, plans, and documents provided for review prior to the hearing and subject to the following conditions:

Condition Nos. 1. - 5. per City Planning & Development, Development Management Division (Olofu Agbaji, Olofu.Agbaji@kcmo.org)

1. Staff recommends that the plan be revised to:
 - a. Delete Sheets 6 through 11 from the overall plan.
 - b. A preliminary plat sheet showing all the information required by the preliminary plat checklist be included with the revised plat.
 - c. Preliminary color building elevations showing materials for construction.
 - d. Materials of the trash enclosure match that of the proposed buildings and meet requirement of Section 88-425-08.
 - e. Provide internal pedestrian connectivity within the development. The pedestrian access way should be delineated, signed and constructed of different materials to ensure safe navigation of the drive-through lanes and drive isles.
 - f. Relocate ADA parking to the west side of the Zaxby's building and provide a delineated crossing.
 - g. Provide and indicate public storm sewer to serve both lots. (Note, private curb inlets cannot be located on the public storm sewer line).
 - h. Provide and indicate public sanitary sewer to serve both lots.
2. Conditions of approval of Committee substitute Ordinance No. 051423, passed by City Council on January 5, 2006 (Case No. 6158-CP-19) still applies and shall be carried forward.
3. That the developer provide cross access easement for both lots.
4. That the developer submit a street tree planting plan to the Development Management Division prior to ordinance request. The developer shall also secure the approval of the City Forester for street trees to be planted in the right of way prior to Mylar approval of this final plat.
5. That the developer submit a final plan to the City Plan Commission prior to issuance of Building Permit. The Final Plan shall meet the development standards of Chapter 88-400 including; plan information; property uses; setback distances; lighting (with a photometric study); landscaping,

including information on (i) species, planting size, and spacing of all trees and shrubbery; (ii) color buildings and dumpster elevation drawings; (iii) fencing, if utilized, identifying material, color, height, setback and type, with an elevation drawing of a section; streetscaping; signage (including elevations); and architectural characteristics.

Conditions Nos. 6 - 13. per City Planning & Development, Land Development Division (Brett Cox, brett.cox@kcmo.org)

6. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations.
7. The developer shall submit a detailed Micro storm drainage analysis from a Missouri-licensed civil engineer to the Land Development Division showing compliance with the current, approved Macro study on file with the City and with current adopted standards in effect at the time of submission, including Water Quality BMP's, prior to approval and issuance of any building permits to construct improvements on the site or prior to recording the plat, whichever occurs first. The developer shall verify and/or improve downstream conveyance systems or address solutions for impacted properties due to flow contributions from the site; and that the developer construct any other improvements as required by Land Development Division as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase.
8. The developer must pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.
9. The developer must obtain the executed and recorded city approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting.
10. The owner/developer must submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.

11. The developer must secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Land Development Division, prior to recording the plat or issuance of a building permit whichever occurs first.
12. The developer must grant a BMP Easements to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits.
13. The developer must enter into a covenant agreement for the maintenance of any stormwater detention areas tracts as required by the Land Development Division, prior to recording the plat.


Condition No. 14. per Water Services Department (Heather Massey, Heather.Massey@kcmo.org)

14. Provide wider easements for both the two water mains and the one sanitary sewer mains. Both of the water main easements will only need an additional 5' added to each. Contact **Joseph Calzarano** at 816-513-0315 concerning the water main easements and contact **Karine Papikian** at 816-513-0300 concerning the sewer easement.

Conditions Nos. 15 - 17. per Missouri Department of Transportation (Vernon H. Koch, Vernon.Koch@modot.mo.gov)

15. That the developer secure a permit from the Missouri Department of Transportation prior to working within any State highway right-of-way.
16. No direct access on M-291 and no sign encroachments. If a traffic study has been provided we would like to have a copy for review.
17. Submit a hydraulic analysis (per attached criteria) to Missouri Department of Transportation.

Respectfully submitted,



Olofu O. Agbaji
Planner

HIGHLAND PARK BUSINESS CENTER

PLAN AREA 'C' PLAN AMENDMENT TO DELETE 1.92 Ac. DISTRICT CP-2

SW 1/4 Sec. 2, Twp. 52, Rge. 32
Kansas City, Clay County, Missouri

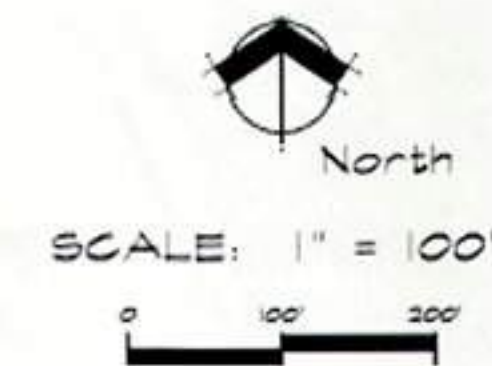
6158-CP-19 **CSA.051423**
1-5-06

GENERAL NOTES:

- The scale of this plan is 1"=100'
- Metes and bounds are as shown on drawing. Legal description is as described on plan.
- Property lines are shown as thus:
- Phase lines are shown as thus:
- Existing conditions are shown on development plan.
- Existing and proposed right-of-ways are shown thus:
(existing)
(proposed)
- Development/ construction to be phased according to market demands.
- Proposed building are shown as thus:
- Proposed parking is shown as thus:
- Proposed ingress/ egress drives are shown as thus:
- Gross area of building is as indicated on plan.
- Site area and FAR calculations area in Development Data Schedule.
- Parking requirements area in Development Data Schedule.
- Existing zoning CP-2, Retail, Office.

NOTES:

- There will be no outdoor storage or sales of retail products without approval of a temporary use permit by the Board of Zoning Adjustment.
- Building materials to be identical on all building faces.
- All rooftop mechanical equipment to be screened from adjacent property and streets.



APPLICANT
AMBER MEADOWS INC.
244 Mill Street, Ste. 101
LIBERTY, MO 64068
TELEPHONE # (816) 781-5382

LOCATION MAP:



DRIVEWAY AND MONUMENT SIGNS

VICINITY MAP
NOT TO SCALE

LUTJEN

Lutjen, Inc.
3550 N. West Oak Ave.
Kansas City, MO 64111
816.587.4220
816.587.1383 fax
www.lutjen.com

Revisions/Approvals	Case/Ord. No.	Date
Submitted to City	6158-CP-19	09-02-05
Revised for Planning Commission		10-18-05
Approved per Planning Commission		
DATE: 10-18-05	Job No.: 05266	File Name: 05266ms

LEGAL DESCRIPTION TRACT C: Ordinance No. 041199

A tract of land in the Southwest Quarter of Section 26, Township 52, Range 32, Kansas City, Clay County, Missouri, being bounded and described as follows: Commencing at the Northwest corner of said Southwest Quarter, thence South 89°25'38" East, along the North line of said Southwest Quarter, 1381.00 feet; thence South 07°14'34" West, 1425.78 feet to the True Point of Beginning of the tract to be herein described, said point being also a point on the South line of AMBER MEADOWS - FIRST PLAT, a subdivision of land in Kansas City, Clay County, Missouri, said point being also a point on the East right-of-way line of N. Ash Avenue, as now established. Thence South 37°46'22" East, along said South line, 178.82 feet; thence North 64°10'25" East, along said South line, 228.42 feet; thence North 02°29'01" East, along said East line, 139.14 feet; thence South 89°19'47" East, along said South line, 500.03 feet to a point on the Kansas City City Limit line; thence South 07°14'34" West, along said City Limit line, 800.62 feet to a point on the Northeast right-of-way line of Missouri Highway A, as now established. Thence Southwesterly, along said Northeast line, on a curve to the left, having an initial tangent bearing of South 05°08'34" West, a radius of 535.82 feet, an arc distance of 159.83 feet; thence South 03°46'34" West, along said Northeast line, 224.84 feet to a point on the Northeast right-of-way line of Missouri Highway A, as now established. Thence North 85°20'43" West, along said Northeast line, 540.07 feet; thence North 85°26'12" West, along said Northeast line, 478.66 feet; thence South 25°06'19" West, along said Northeast line, 25.00 feet; thence North 85°26'12" West, along said Northeast line, 59.36 feet; thence Northwesterly, North and Northwesterly, along the East right-of-way line of said N. Ash Avenue, on a curve to the right, tangent to the last described course, having a radius of 15.00 feet, an arc distance of 23.50 feet; thence North 20°03'39" East, along said East line, 140.04 feet; thence Northwesterly, along said East line, on a curve to the left, tangent to the last described course, having a radius of 800.00 feet, an arc distance of 125.62 feet; thence Northwesterly, along said East line, on a curve to the left, tangent to the last described course, having a radius of 800.00 feet, an arc distance of 125.62 feet; thence North 20°03'39" East, along said East line, 52.01 feet; thence Northwesterly, along said East line, on a curve to the right, tangent to the last described course, having a radius of 770.00 feet, an arc distance of 121.82 feet; thence North 38°20'02" East, along said East line, 32.52 feet; thence Northwesterly, along said East line, on a curve to the right, tangent to the last described course, having a radius of 675.00 feet, an arc distance of 150.12 feet to the True Point of Beginning. Containing 24.42 acres, more or less.

LEGAL DESCRIPTION OF DELETED AREA (1.92 Ac.)

A subdivision of land in Kansas City, Clay County, Missouri, REPLAT OF HIGHLAND PARK BUSINESS CENTER-FIRST PLAT, all of Lot One and Tract 'A'.

REVISED LEGAL DESCRIPTION:

A tract of land in the Southwest Quarter of Section 26, Township 52, Range 32, Kansas City, Clay County, Missouri, being bounded and described as follows: Commencing at the Northwest corner of said Southwest Quarter, thence South 89°25'38" East, along the North line of said Southwest Quarter, 1381.00 feet; thence South 07°14'34" West, 1425.78 feet to the True Point of Beginning of the tract to be herein described, said point being also a point on the South line of AMBER MEADOWS - FIRST PLAT, a subdivision of land in Kansas City, Clay County, Missouri, said point being also a point on the East right-of-way line of N. Ash Avenue, as now established. Thence South 37°46'22" East, along said South line, 178.82 feet; thence North 64°10'25" East, along said South line, 228.42 feet; thence North 02°29'01" East, along said East line, 139.14 feet; thence South 89°19'47" East, along said South line, 500.03 feet to a point on the Kansas City City Limit line; thence South 07°14'34" West, along said City Limit line, 800.62 feet to a point on the Northeast right-of-way line of Missouri Highway A, as now established. Thence Southwesterly, along said Northeast line, on a curve to the left, having an initial tangent bearing of South 05°08'34" West, a radius of 535.82 feet, an arc distance of 159.83 feet; thence South 03°46'34" West, along said Northeast line, 224.84 feet to a point on the Northeast right-of-way line of Missouri Highway A, as now established. Thence North 85°20'43" West, along said Northeast line, 540.07 feet; thence North 85°26'12" West, along said Northeast line, 478.66 feet; thence South 25°06'19" West, along said Northeast line, 25.00 feet; thence North 85°26'12" West, along said Northeast line, 59.36 feet; thence Northwesterly, North and Northwesterly, along the East right-of-way line of said N. Ash Avenue, on a curve to the right, tangent to the last described course, having a radius of 15.00 feet, an arc distance of 23.50 feet; thence North 20°03'39" East, along said East line, 140.04 feet; thence Northwesterly, along said East line, on a curve to the left, tangent to the last described course, having a radius of 800.00 feet, an arc distance of 125.62 feet; thence Northwesterly, along said East line, on a curve to the left, tangent to the last described course, having a radius of 800.00 feet, an arc distance of 125.62 feet; thence North 20°03'39" East, along said East line, 52.01 feet; thence Northwesterly, along said East line, on a curve to the right, tangent to the last described course, having a radius of 770.00 feet, an arc distance of 121.82 feet; thence North 38°20'02" East, along said East line, 32.52 feet; thence Northwesterly, along said East line, on a curve to the right, tangent to the last described course, having a radius of 675.00 feet, an arc distance of 150.12 feet to the True Point of Beginning. Containing 22.57 acres, more or less.

DEVELOPMENT DATA SCHEDULE:

Tract	Land Use	Building Coverage Area	Building Square Feet	FAR	Parking Spaces Required	Parking Spaces Provided	Paved Area	Open Area	Total Area Square Feet	Total Area Acres
C	Retail	144,200	144,200		471	1014				
C	Restaurant	116,000	116,000		155	155				
Sub - Total		260,200	260,200	0.21	1,126	1,174	565,312	211,478	953,148	22.57

HIGHLAND PARK BUSINESS CENTER PLAN AREA 'C' PLAN AMENDMENT DISTRICT CP-2

SW 1/4 Sec., Twp. 52, Rge. 32
Kansas City, Clay County, Missouri

GENERAL NOTES:

- The scale of this plan is 1"=100'
- Notes and legends are as shown on drawing. Legal description is as described on plan.
- Property lines are shown as those
- Phase lines are shown as those
- Existing conditions are shown on development plan.
- Existing and proposed right-of-ways are shown as those (existing) (proposed)
- Development/ construction to be phased according to market demands.
- Proposed building are shown as those
- Proposed parking is shown as those
- Proposed ingress/ egress drives are shown as those
- Green area of building is as indicated on plan.
- Site area and FAR calculations area in Development Data Schedule.
- Parking requirements area in Development Data Schedule.
- Existing zoning CP-2, Retail, Office.

NOTES:

- There will be no outdoor storage or sale of retail products without approval of a temporary use permit by the Board of Zoning Adjustment.
- Building materials to be identical on all building faces.
- All rooftop mechanical equipment to be screened from adjacent property and streets.

LOCATION MAP:



GRAPHIC SCALE
SCALE 1" = 100'

DEVELOPMENT DATA SCHEDULE:

Tract	Land use	Building Coverage Area	Building Square Feet	FAR	Parking Spaces Required	Parking Spaces Provided	Paved Area	Open Area	Total Area Square Feet	Total Area Acres
C	Retail	106,630	106,630	0.21	933	924				
C	Restaurant	15,447	15,447	0.21	206	207				
Sub - Total		202,077	202,077	0.21	1,139	1,131	165,170	211,929	983,149	22.57

LEGAL DESCRIPTION:

A tract of land in the Southwest Quarter of Section 36, Township 52, Range 32, Kansas City, Clay County, Missouri, being bounded and described as follows: Commencing at the Northwest corner of said Southwest Quarter; thence South 89° 25' 26" East, along the North line of said Southwest Quarter, 1,381.99 feet; thence South 0° 34' 34" West, 1,495.78 feet to the True Point of Beginning of the tract to be herein described, said point being also a point on the South line of AMBER MEADOWS - FIRST PLAT, a subdivision of land in Kansas City, Clay County, Missouri, said point being also a point on the East right-of-way line of N. Ash Avenue, as now established; thence South 37° 46' 53" East, along said South line, 178.82 feet; thence North 64° 15' 23" East along said South line, 218.42 feet; thence North 81° 26' 01" East, along said South line, 122.14 feet; thence South 89° 19' 47" East, along said South line, 500.53 feet to a point on the Kansas City, City Limit line; thence South 0° 33' 25" West, along said City Limit line, 643.57 feet to the Northeast Corner to REPLAT OF HIGHLAND PARK BUSINESS CENTER - FIRST PLAT, a subdivision of land in Kansas City, Clay County, Missouri; thence North 89° 26' 35" West, along the North line of said REPLAT OF HIGHLAND PARK BUSINESS CENTER - FIRST PLAT, 265.00 feet to the Northwest corner thereof; thence South 0° 33' 25" West, along the West line of said REPLAT OF HIGHLAND PARK BUSINESS CENTER - FIRST PLAT, 410.30 feet to the Southwest corner thereof and the Northerly right-of-way line of Missouri Highway A, as now established; thence South 53° 46' 34" West, along said Northerly line, 66.82 feet to a point on the Northeastly right-of-way line of Missouri Route 291, as now established; thence North 63° 20' 43" West, along said Northeastly line 540.07 feet; thence North 66° 56' 13" West, along said Northeastly line, 473.66 feet; thence South 26° 05' 19" West along said Northeastly line 15.00 feet; thence North 63° 51' 21" West, along said Northeastly line, 59.36 feet; thence Northwestly, Northerly, and Northeastly, along the East right-of-way line of said N. Ash Avenue, on a curve to the right, tangent to the last described course, having a radius of 15.00 feet, an arc distance of 23.56 feet; thence North 26° 08' 39" East, along said East line, 140.04 feet; thence Northeastly, along said East line, on a curve to the left tangent to the last described course, having a radius of 800.00 feet, an arc distance of 126.62 feet; thence Northeastly, along said East line, on a curve to the right, having a common tangent to the last described course, a radius of 800.00 feet, an arc distance of 126.62 feet; thence North 26° 08' 39" East, along said East line, 52.01 feet; thence Northeastly, along said East line, on a curve to the right, tangent to the last described course, having a radius of 770.00 feet, an arc distance of 163.83 feet; thence North 38° 20' 05" East, along said East line, 32.01 feet; thence Northeastly along said East line on a curve to the right, tangent to the last described course, having a radius of 675.00 feet, an arc distance of 156.12 feet to the True Point of Beginning. Containing 22.57 acres, more or less.



REVISION BLOCK	DATE	DESCRIPTION
1	12/16/15	PLAN AMENDMENT



**CARTER
ENGINEERING
CONSULTANTS**

Carter Engineering Consultants, Inc.
1405 Main Hill Road, Suite 200
Walden, CA 95677

P: 770.725.1300
F: 770.725.1304
www.carterengineering.net

PLAN AMENDMENT
for
TAC JAX HOLDINGS, LLC
LOT 3, HIGHLAND PLAZA EAST, KANSAS CITY, MISSOURI

PROJECT NAME:
ZAXBY'S

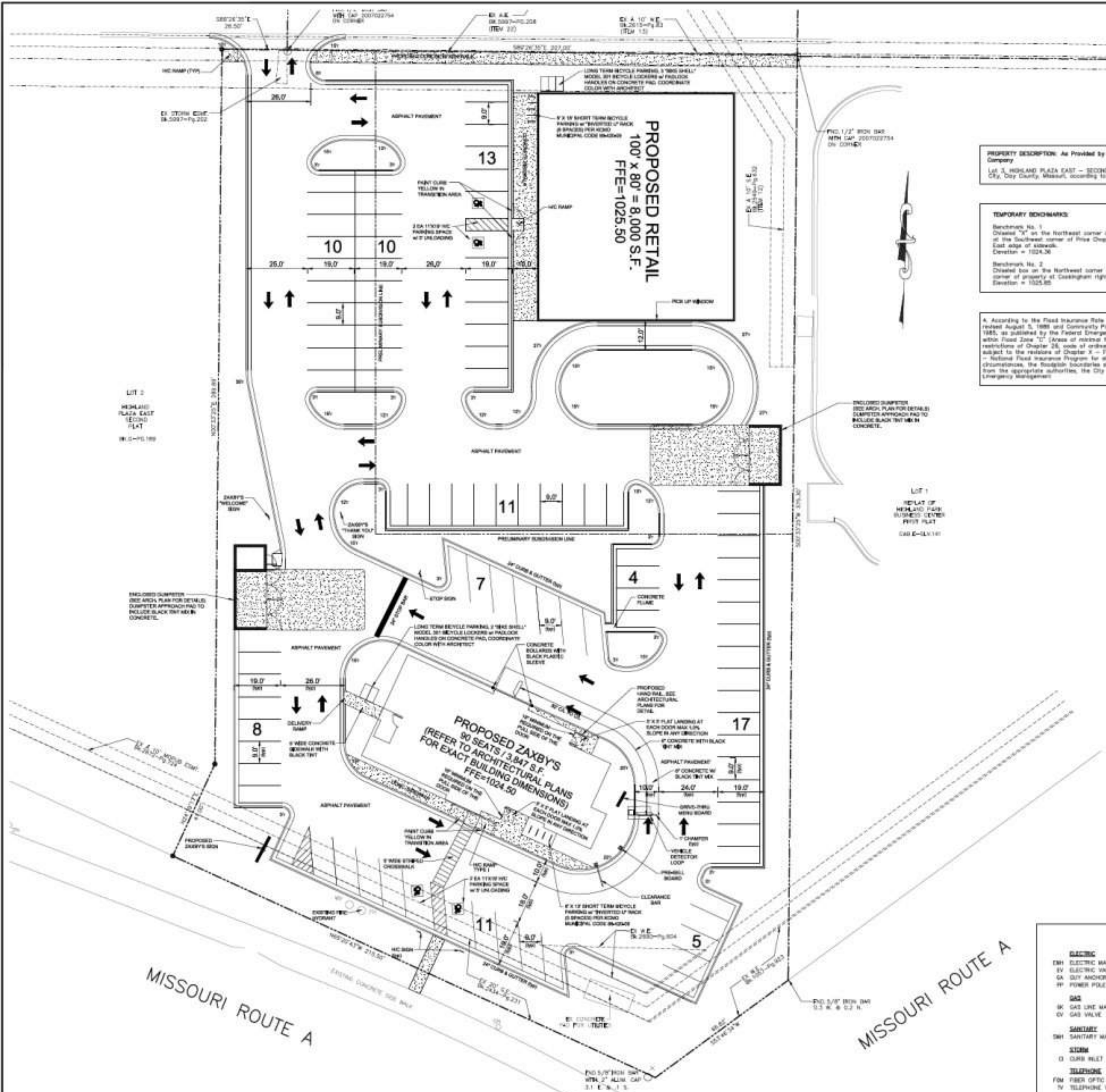
SHEET TITLE:
**PLAN
AMENDMENT**

SHEET NUMBER:

1

PROJECT NUMBER:
15170ZAX

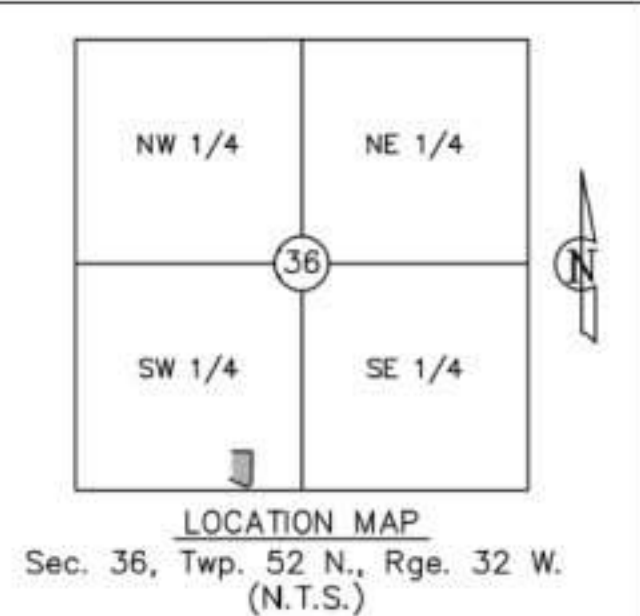
DATE:
12/16/15



PROPERTY DESCRIPTION: As Provided by Thomas Affinity Title Insurance Company
 Lot 3, Highland Plaza East - Second Plat, a subdivision in Kansas City, Clay County, Missouri, according to the recorded plat thereof.

TEMPORARY BENCHMARKS:
 Benchmark No. 1
 Chiseled "X" on the northeast corner of the top of a field steel located at the Southwest corner of Rose Chesser parking lot, 15 feet from East edge of sidewalk.
 Elevation = 1024.36
 Benchmark No. 2
 Chiseled box on the Northwest corner of transformer pad, Northeast corner of property at Caskingham right-of-way.
 Elevation = 1025.85

A. According to the Flood Insurance Rate Map, Community Panel No. 2901730050B, revised August 5, 1985 and Community Panel No. 290580002B, revised February 1, 1985, as published by the Federal Emergency Management Agency, this property lies within Flood Zone "C" (Areas of minimal flooding). This information is subject to the restrictions of Chapter 28, code of ordinances of Kansas City, Missouri, and are further subject to the revisions of Chapter X - Federal Insurance Administration, subchapter B - National Flood Insurance Program for eligibility thereof. However, due to change in circumstances, the floodplain boundaries should be established at the earliest time from the appropriate authorities, the City of Kansas City, Missouri and the Federal Emergency Management Agency.

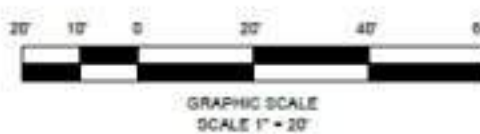


GENERAL NOTES:
 OWNER / DEVELOPER:
 TAC JAX Holdings, LLC
 515 N. Main Street
 Fort Worth, Texas 76102
 Contact: Tim Chapman
 Tel: (817) 572-0077
 ENGINEER:
 Carter Engineering Consultants, Inc.
 3001 Main Hill Road, Suite 2000
 Waukegan, IL 60087
 Contact: Jeff Carter, P.E.
 Tel: (773) 725-1200
 jec@carterengineering.com
 Property located on Lot 3, Highland Plaza East, Second Plat, Kansas City, Clay County, MO.
 Boundary and topographical information obtained from field run survey by LUTJEN dated November 2, 2015. Phone: (816) 567-4320.
 The underground utilities shown herein have been located from field information and existing drawings. The surveyor nor engineer warrants that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor nor engineer warrants that the underground utilities shown are in the exact location indicated. The surveyor nor engineer has physically located all the underground utilities.
 It is the responsibility of the contractor to field locate all utilities prior to commencing work and notify engineer if a discrepancy is found.
 The contractor shall verify the invert elevations of all existing storm and sanitary sewer structures prior to commencement of storm and sanitary sewer construction.

GENERAL NOTES:
 A. Existing Zoning of Property: B2-2
 B. Total Land Area: 2.04 acres
 C. Net Land Area: 2.04 acres
 D. Proposed use is a restaurant with drive-thru and retail center.
 E. Proposed building height is 20'
 F. Proposed building height is 20'
 G. Gross Floor Area: 3,847 SF for Zaxby's and 8,000 SF for Retail Center
 H. Building Coverage: 13.2%, Floor Area Ratio: 1.13 (0.27 / 2.04)
 I. Required Parking:
 Restaurant: 10 spaces per 1,000 SF
 3,847 SF / 10 = 39 spaces required
 50 spaces provided
 Retail: 2.5 spaces per 1,000 SF
 8,000 SF / 3.0 = 26 spaces required
 40 spaces provided
 K. Short Term and Long Term Bicycle Parking Spaces
 Restaurant: 5 short term provided and 2 long term
 Retail: 8 short term provided and 1 long term
 L. Commencement and Completion Date: January 1, 2016 - April 1, 2016

UNDERGROUND UTILITIES DISCLAIMER
 Information regarding the required presence, size, character and location of existing underground utilities and structures related to underground utilities is shown herein. There is no warranty of the accuracy of this information and it shall be considered in that light by those using this drawing. The location and arrangement of underground utilities and structures related to underground utilities shown herein may be inaccurate and utilities and structures related to underground utilities not shown may be encountered. The owner, his employees, his consultants and his contractors shall hereby be deemed to understand that the surveyor is not responsible for the correctness or sufficiency of this information regarding the underground utilities and structures related to underground utilities shown herein.

PLAN LEGEND	
ELECTRIC	SURVEY MARKERS
EM ELECTRIC MANHOLE	FO FOUND PROPERTY CORNER (MONUMENTATION AS NOTED)
EV ELECTRIC VALVE	
GA GUY ANCHOR	SEGS
HP POWER POLE	SH SIGN
GAS	EASEMENTS
GR GAS LINE MARKER	GE STORM DRAINAGE EASEMENT
GV GAS VALVE	GE GAS EASEMENT
SANITARY	SE SANITARY SEWER EASEMENT
SM SANITARY MANHOLE	UE UTILITY EASEMENT
STORM	WE WATER EASEMENT
CI CURB INLET	WATER
FM FIBER OPTIC MARKER	WH FIRE HYDRANT
TV TELEPHONE VALVE	WM WATER METER
	WV WATER VALVE



REVISION BLOCK

NO.	DATE	DESCRIPTION
1	11/13/15	DEVELOPER SUBMITTAL
2	12/01/15	100% SUBMITTAL

STATE OF MISSOURI

UNCL. & CARTER

REGISTERED PROFESSIONAL ENGINEER

CARTER ENGINEERING CONSULTANTS

Carter Engineering Consultants, Inc.
 3001 Main Hill Road, Suite 2000
 Waukegan, IL 60087
 P: 773.725.1200
 F: 773.725.1204
 www.carterengineering.com

SITE DEVELOPMENT PLANS

for

TAC JAX HOLDINGS, LLC

Lot 3, Highland Plaza East, Kansas City, Missouri

PROJECT NAME

ZAXBY'S

SHEET TITLE

SITE PLAN

SHEET NUMBER

3

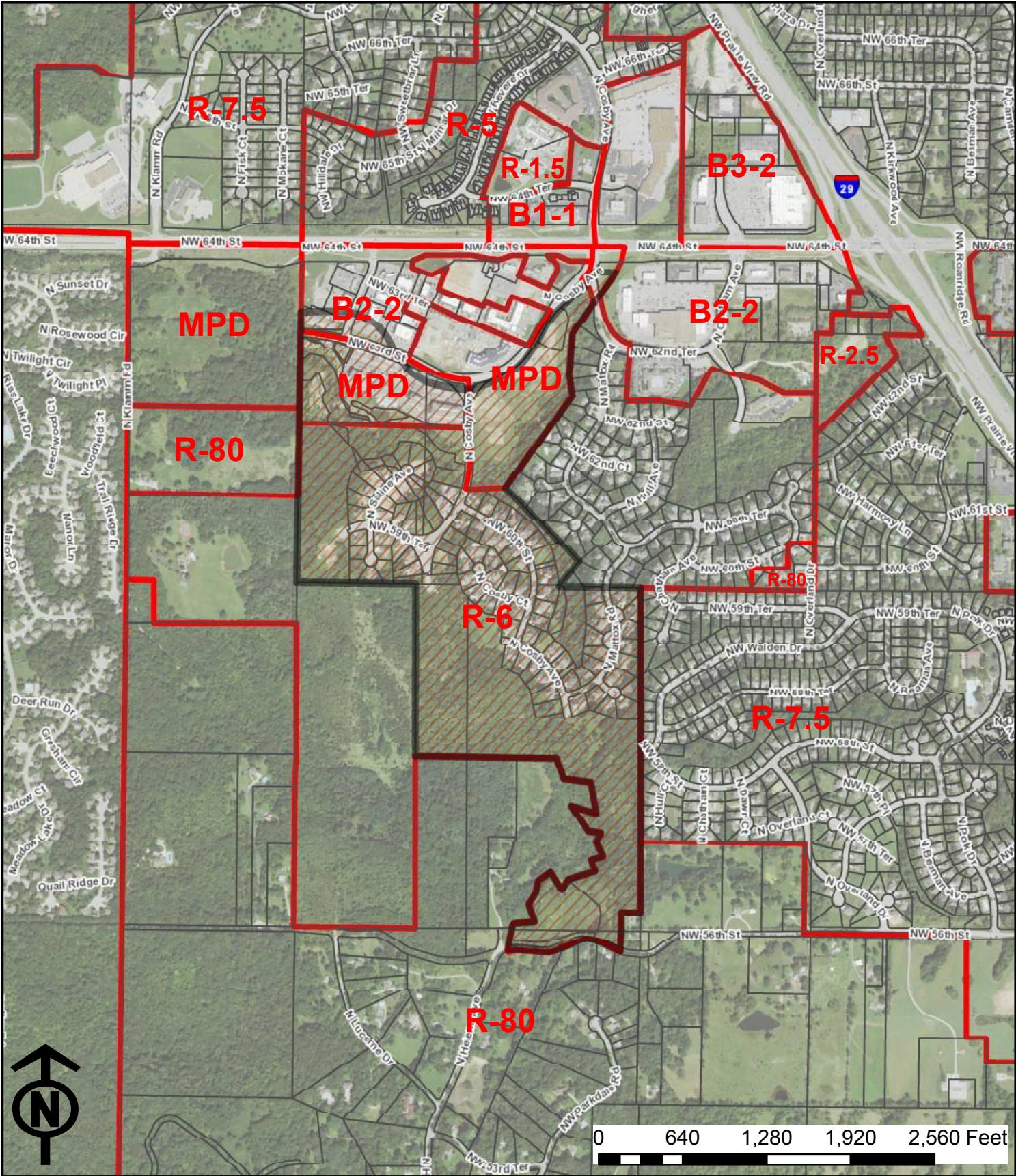
PROJECT NUMBER

15170ZAX

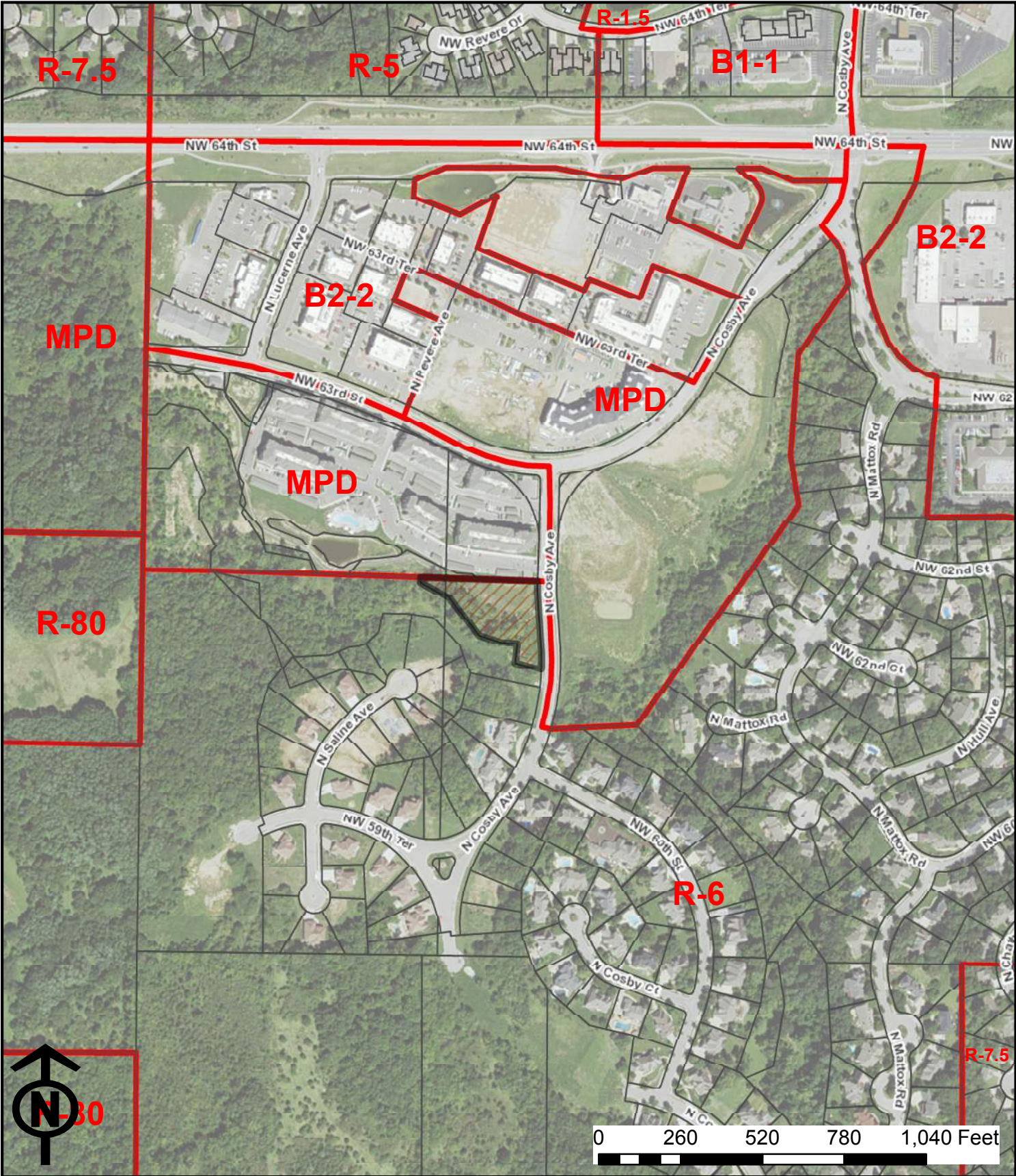
DATE

11/13/15

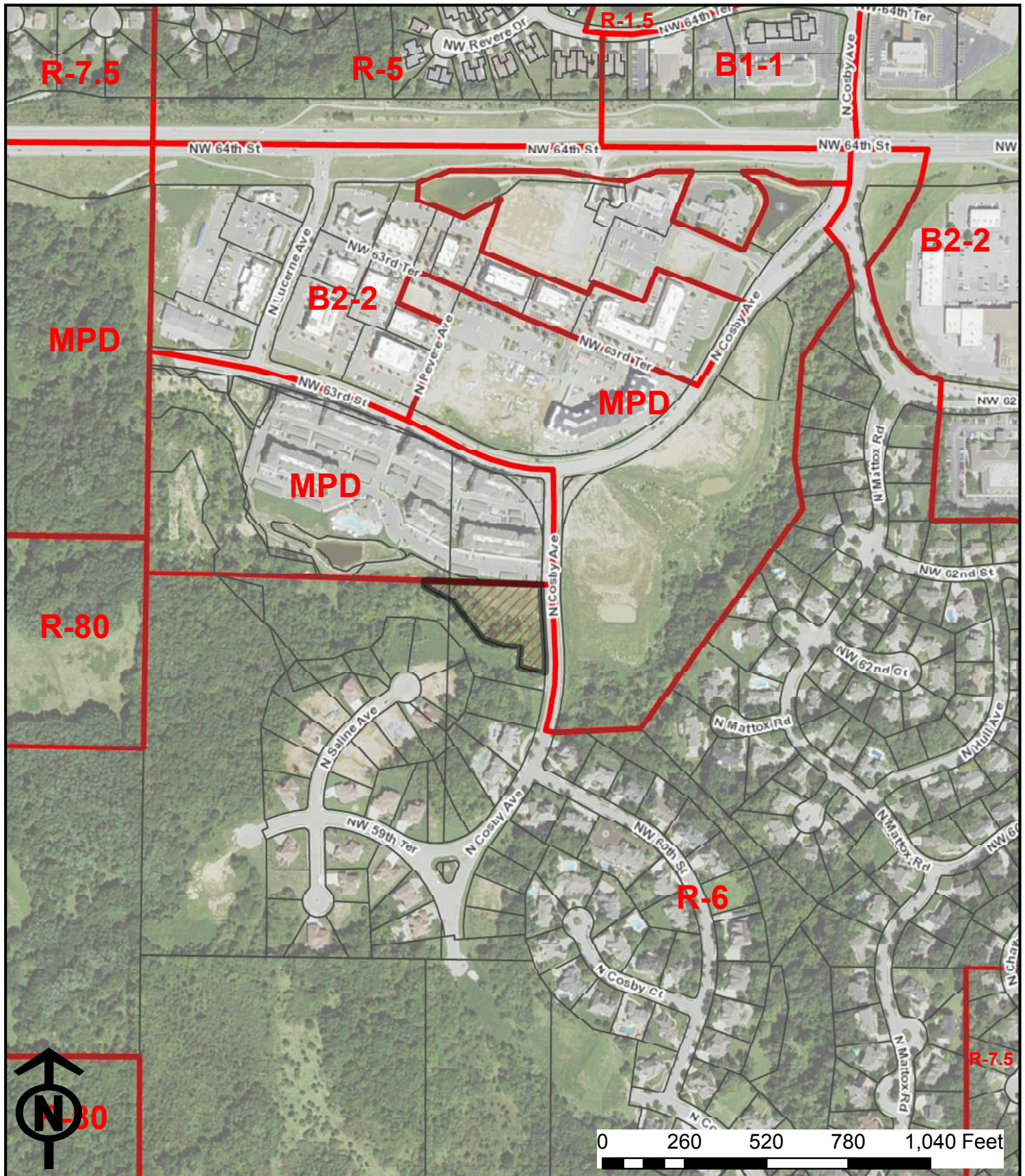
Case No. 5857-P-53 – About 132 acres generally located at the southwest corner of North Cosby Avenue (NW 62nd Terrace) and 45 Highway (NW 64th Street), to consider removing about 1.37 acres, also known as Forest Ridge Estates Tract B, generally located on the west side of N Cosby Avenue about 500 feet south of NW 63rd Street from the plan -- said property currently zoned R-6 (Residential 6) and previously zoned R-1b, CUP (One family dwelling district), Community Unit Project.



Case No. 5857-P-54 – About 1.37 acres, also known as Forest Ridge Estates Tract B, generally located on the west side of N Cosby Avenue about 500 feet south of NW 63rd Street, to consider rezoning the site from District R-6 (Residential 6) to District R-5



Case No. 5857-P-55 – About 1.37 acres, also known as Forest Ridge Estates Tract B, generally located on the west side of N Cosby Avenue about 500 feet south of NW 63rd Street, to consider the approval of a Development Plan in District R-5 (Residential 5) for two,





City Planning & Development Department
Development Management Division

15th Floor, City Hall
414 East 12th Street
Kansas City, Missouri 64106-2795

816 513-2846
Fax 816 513-2838

STAFF REPORT

February 2, 2016

(5, 6 & 7)

RE:

- a) Case No. 5857-P-53**
- b) Case No. 5857-P-54**
- c) Case No. 5857-P-55**

APPLICANT:

George Gunter III
520 Division Street
Kansas City, KS 66103

PROPERTY OWNER/S:

Not listed on application (Assumed same as Applicant)

REPRESENTATIVE:

Brian P. Forquer
Lutjen, Inc.
1301 Burlington, #100
North Kansas City, MO 64116

AREA/LOCATION:

- a) About 132 acres**
- b) & c) About 1.37 acres**

REQUEST:

a) Case No. 5857-P-53, About 132 acres generally located at the southwest corner of North Cosby Avenue (NW 62nd Terrace) and 45 Highway (NW 64th Street), to consider removing about 1.37 acres, also known as Forest Ridge Estates Tract B, generally located on the west side of N Cosby Avenue about 500 feet south of NW 63rd Street from the plan -- said property currently zoned R-6 (Residential 6) and previously zoned R-1b, CUP (One family dwelling district), Community Unit Project.

b) Case No. 5857-P-54, About 1.37 acres, also known as Forest Ridge Estates Tract B, generally located on the west side of N Cosby Avenue about 500 feet south of NW 63rd Street, to consider rezoning the site from District R-6 (Residential 6) to District R-5 (Residential 5).

c) Case No. 5857-P-55, About 1.37 acres, also known as Forest Ridge Estates Tract B, generally located on the west side of N Cosby Avenue about 500 feet south of NW 63rd Street, to consider the approval of a Development Plan in District R-5 (Residential 5) for two, two-unit houses, which serves as a preliminary plat.

Staff Report

Case Nos. a) 5857-P-53, b) 5857-P-54 & c) Case No. 5857-P-55

February 2, 2016

Page 2

MAJOR STREET PLAN: * Identifies M-45 as a Thoroughfare, requiring four (4) lanes two lanes in each direction

Bicycle Route:

* Identifies Southern Platte Pass Trail on M-45.

ARTERIAL STREET

IMPACT FEE:

(Information Only)

Benefit District:	North Benefit District E
Discounted Rate:	See Committee Substitute for Ord. No. 011258, As Amended. \$437.00 per multifamily dwelling unit

SURROUNDING LAND

USES:

North: Burlington Creek Center, Mo. Rte. 45, Picture Hills Shopping Center, zoned MPD and B 2-2

South: Forest Ridge Estates, undeveloped, single family residential, zoned R-6

East: Tremont Shopping Center, Tremont Subdivision, residential, zoned R-6

West: Undeveloped, Riss Lake, Parkville, zoned MPD and R-80

PREVIOUS CASES:

Case No. 202-S-6 – Resolution No. 030759, passed July 31, 2003, changed the proposed land use on this subject site from Residential to Retail Commercial.

Case No. 5857-CP-13 – C.S. Ord. No. 030760, passed July 31, 2003, rezoned about 36 acres from R-1b, R-4 and CP-2 to District CP-2 and approved a development plan for commercial development.

Case No. 5857-CUP-14 – C.S. Ord. No. 030761, passed July 31, 2003, approved an amendment on a 153 acre community unit project, by removing 21 acres from the CUP.

Case No. 5857-P-15 – Ord. No. 030762, passed July 31, 2003, rezoned about 14.5 acres from District R-4 and R-1b to District R-1b.

Case No. 5857-CUP-16 -- Request to approve a CUP plan on 14.5 acres in District R-1b, to allow 72 multifamily units in twelve buildings – was not approved to allow for the approval of a subsequent amendment (See Case No. 5857-CUP-17).

Case No. 5857-CUP-17 – C.S. Ord. No. 030763, passed 2003, approved a CUP plan on 14.5 acres.

Staff Report

Case Nos. a) 5857-P-53, b) 5857-P-54 & c) Case No. 5857-P-55

February 2, 2016

Page 3

Case No. 5857-CUP-27 – Ordinance No. 060553, passed June 8, 2006, approved an amendment to a previously approved community unit project plan in District R-1b on approximately a 132 acre tract of land generally located on either side of N. Cosby Avenue (N.W. 62nd Terrace) between 45 Highway (N.W. 64th Street) on the north and N.W. 56th Street on the south by allowing some transfers of land between the residential and open space areas within the plan.

Note: This is the approved CUP plan for the 132 acre site.

Case No. 5857-CP-30 – Ordinance No. 060689, passed July 13, 2007, approved an amendment to a preliminary plan in District CP-2 (Local planned business center), for additional square footage, additional parking, signage and off-site detention area.

Note: **Cases 5857-CP-18 thru 5857-CP-41** deal with final plans and Board of Zoning Adjustment cases for the Tuileries Plaza Commercial area located immediately north of this proposed residential project.

Case No. 5857-P-42 – At its regularly scheduled meeting on October 2, 2007, the City Plan Commission recommended approval on about 15 acres generally located 800 feet south of NW 64th Street (M-45) on the west side of North Cosby Avenue, to consider rezoning from District R-1b/CUP, (One-family dwelling district, low density, community unit project) to District R-5p (High apartment district, limited) for a mixed use, office/residential project with a day care.

Note: this plan did not proceed to the City Council for approval.

Case No. 5857-PD-46 -- At its regularly scheduled meeting on October 2, 2007, the City Plan Commission recommended approval on about 15 acres generally located 800 feet south of NW 64th Street (M-45) on the west side of North Cosby Avenue to consider rezoning from District R-5 (High apartment district, limited) to District PD/R-5 (Planned District/High apartment district, limited) for offices, residential units and a day care. *Note: this plan did not proceed to the City Council for approval.*

Case No. 5857-MPD-49 – Ordinance No. 120286, passed April 12, 2012, rezoned approximately 14.69 acres generally located about 800 feet south of NW 64th Street (M-45) on the west side of North Cosby Avenue from District R-6 (Residential 6) to District MPD (Master Planned Development) and approved a Preliminary Development Plan for 298 residential multifamily units in seven buildings.

Case No. 5857-MPD-51 – Ordinance No. 130566, passed August 15, 2013, rezoned about 28.7 acres generally located south of NW 64th Street on either side of North Cosby Avenue from Districts B 2-2 (Neighborhood business 2 (dash 2)) and R-6 (Residential 6) to District MPD (Master Planned Development) with a signage plan and the approval of a Preliminary Development Plan for assisted living, office, retail and restaurant and mixed uses, in which the plan also serves as a preliminary plat.

Staff Report

Case Nos. a) 5857-P-53, b) 5857-P-54 & c) Case No. 5857-P-55

February 2, 2016

Page 4

Case No. 5857-MPD-52 – Ordinance No. 150155, passed March 19, 2015, approved an amendment to a previously approved development plan in District MPD on about 28.7 acres at the subject site for assisted living, office, retail, restaurant and mixed uses. **Note: This is the approved plan for the Burlington Creek area of the project.**

Note: These cases were continued from the September 1, 2015 City Plan Commission docket by the applicant to allow time to meet with neighborhood representatives and revise the plan accordingly.

Current Related Case: Case No. SD 1162-C, Preliminary Plat, Forest Ridge - Tract B, About 1.37 acres, on land currently platted as Forest Ridge Estates Tract B, generally located on the west side of N Cosby Avenue about 500 feet south of NW 63rd Street, to consider a preliminary plat for the site creating two lots in District R-6 (Residential 6). On January 6, 2016, city staff composing the Development Review Committee, met to review the above-referenced project and acted to APPROVE said project subject to conditions.

REPORT:

When these cases were initially submitted on June 29, 2015, the applicant requested to a) 5857-P-53, delete the subject 1.37 acre tract from the overall 132 acre CUP plan area, b) rezone the subject 1.37 acre deleted tract from District R-6 to District R-5 to allow for two duplex units (4 units total) and c) approve a development plan for the two duplex units which also served as a preliminary plat.

On September 1, 2015, the City Plan Commission, at the request of the applicant, continued these three cases off of the CPC docket, to allow time for the applicant to meet with neighborhood representatives and revise the plan accordingly. In these discussions, the applicant was encouraged to change the two duplex structures to two single family units and also move the closest structure to the nearby creek to the south, further north, away from the creek and the established tree line.

The applicant has now revised the requests and has further submitted a new, related case, Case No. SD 1162-C, Preliminary Plat, Forest Ridge - Tract B. The revised request for the site now shows two single family units on two single family lots instead of the two duplex units. Further the southernmost single family home has been moved at least 20 north from the previously shown similar location of the southernmost duplex structure. The applicant still wants to keep a) Case No. 5857-P-53, because he continues to prefer that the 1.37 acre be removed from the overall 132 acre Community Unit Plan. However, since the new request is for two single family lots, and since single family lots are allowed in the existing R-6 zone, there is no need for b) Case No. 5857-P-54, the rezoning of the site from District R-6 to District R-5. Further, since the applicant has now submitted Case No. SD 1162-C, Preliminary Plat, Forest Ridge - Tract B,

Staff Report

Case Nos. a) 5857-P-53, b) 5857-P-54 & c) Case No. 5857-P-55

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there is no current need for previous case c) Case No. 5857-P-55, the development plan/preliminary plat. Therefore, Cases b) 5857-P-54 and c) 5857-P-55 will be recommended for dismissal.

City staff has already administratively approved the subsequent preliminary plat submittal SD 1162-C, Preliminary Plat, Forest Ridge - Tract B, for the two single family lots. (See Related Case above).

The remainder of the report will discuss the history of the 132 acre Old Orchard CUP and the request to remove the 1.37 acre tract.

Prior to July 31, 2003, the "Old Orchard" plan included commercial and residential uses and extended from NW 64th Street (M-45) on the north to NW 56th Street on the south. On July 31, 2003, the City Council passed four ordinances which removed the northern portions, near M-45, from the project, rezoned this removed portion to both CP-2 and R-1b-CUP and re-approved the remaining residential portion of the "Old Orchard" site plan (5857-CUP-14). These ordinances are the results of the approvals of Cases 5857-CP-13, 5857-CUP-14, 5857-P-15 and 5857-CUP-16 as listed in the "*PREVIOUS CASES*", section above. The commercial portion was constructed as the Tuileries Commercial development. Financial and funding issues hit this commercial area. The Tuileries site went into foreclosure and was purchased by North Point Development Company. Following the purchase of the commercial area by North Point, the commercial portion has subsequently been known as Burlington Creek. The purchase of the commercial portion of the Burlington Creek area included a 15 acre area located west of N Cosby Avenue and south of NW 63rd Street. In April of 2012, the City Council approved Case No. 5857-MPD-49 which allowed for the construction of 298 multifamily units in seven buildings. This project is now built and is located immediately north of the subject 1.37 acre tract. .

Following the multifamily construction, North Point removed the 14.6 acre portion of the original plan located east of N Cosby Avenue, (Case No. 5857-MPD-51) and rezoned this area along with some of the unbuilt portions of the commercial portion of Burlington Creek to District MPD. The land use of this 14.6 acre area changed from 30 single family villas to a bank (built) and an elderly housing project (under review).

In addition, Don Julian, with Julian Construction has platted some of the initial subject 132 acre area into single family lots with the Forest Ridge Estates First and Second Plats. Other plats within the 132 subject case include: Tremont Manor 4th, 6th and 7th. All of these single family subdivisions are located south of the previously discussed Burlington Creek and west of the Tremont Subdivision.

Site data for the 132 acre CUP is as follows (from prior reports):

Staff Report

Case Nos. a) 5857-P-53, b) 5857-P-54 & c) Case No. 5857-P-55

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SITE DATA

8)	LAND USE	DWELLING UNITS	ACREAGE	DENSITY	REQ. PARK ACREAGE
	Single Family	195	84.42	2.31 du/ac	4.33
	Cluster Single Family	30	13.52	2.21 du/ac	0.36
	TOTALS	225	97.94		4.69

Average lot area/dwelling unit = 19,030 s.f.

Private Open Space for Park Purposes (Platted) - Provided	4.86
Private Open Space for Park Purposes (Unplatted) - Provided	6.99
Private Open Space - Provided	5.28
R.O.W.	16.32
TOTAL ACREAGE	131.39

9)	LAND COVERAGE	BUILDING	PARKING
	Single Family	20% average	8% average
	Cluster Single Family	34% (1.93 acres)	14% (1.93 acres)

10)	PHASING:	DWELLINGS:	APPROVED:	PLAT:	OPEN SPACE:	PRIVATE OPEN SPACE FOR PARK PURPOSES (PLATTED)	PRIVATE OPEN SPACE FOR PARK PURPOSES (UNPLATTED)
	I	18 single family	1991	Tremont Manor 4th		2.44	
	II	13 single family	1995	Tremont Manor 7th		0.98	
	III	31 single family	1993	Tremont Manor 6th		1.44	
	IV	32 single family Detention/O.S.	2005	Forest Ridge Estates	0.08 2.42		4.76
	V	30 cluster homes		By Others	2.00		
	VI	17 single family		Forest Ridge Future			
	VII	19 single family		Forest Ridge Future			
	VIII	16 single family		Forest Ridge Future			
	X	20 single family		Forest Ridge Future			
	XI	29 single family		Forest Ridge Future	0.78		2.23
	TOTAL PARK ACREAGE				5.28	4.86	6.99

Proposed Plan:

The Forest Ridge Estates plat includes about 22 acres with 33 single family lots and is located directly south of the previously mentioned multifamily housing which contained 298 multifamily units in seven buildings. The Forest Ridge Estates plat contains two tracts, Tract A and B. These two tracts contain a large drainage area and lie between the single family lots to the south and the multifamily housing to the north. Tract A has also been set aside as Private Open Space

Staff Report

Case Nos. a) 5857-P-53, b) 5857-P-54 & c) Case No. 5857-P-55

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for Park Purposes which was required for the single family homes. Tract B is also identified as Private Open Space but is not identified for park purposes. Tract B is a triangular shaped tract including 59,871 sf and has about 280 feet of frontage on N Cosby Avenue.

The applicant is now proposing to complete Case a) (5857-P-53) Remove this 1.37 acre area known as Tract B from the overall 132 acre CUP as discussed above.

Parkland Dedication:

Parkland dedication is a requirement of platting for residential development. The parkland dedication will now be a process exercised with the companion case SD 1162-C, Preliminary Plat, Forest Ridge - Tract B, and will not be a part of this request. Parkland dedication is only shown here for informational purposes.

According to Section 88-405-17 the developer has three options for this dedication whenever residential development is proposed. Applicants may dedicate land to the City, provide private open space for park purposes or pay money in lieu of parkland dedication. The plan shows a proposal for two single family lots. Therefore the money in lieu is calculated as follows:

* 2 two single family lots x 3.7 persons/unit x 0.006 acres/person = 0.0444 acres

* 0.0444 acres x \$16,907.93 = \$ 750.71

It is expected that this money will be spent in Frank Vaydik Park or within a close Parks and Recreation facility.

Frank Vaydik Park is located at NW 56th Street and NW Waukomis Drive, was acquired by the City in 1966 and has 145 acres.

Analysis:

This small area sits between the denser multifamily area to the north and standard single family detached units to the south. It appears that the developer has been able to find some developable area which is currently a tract and propose a use which appears to fit between the two stated uses to the north and south. A good deal of grading will be required but the use seems reasonable. The site does not require rezoning but the applicant still wants to remove the site from the existing CUP plan. City staff has no opposition to the removal of the site from the existing CUP plan and further recommends that the two remaining cases be dismissed.

RECOMMENDATIONS:

City Planning and Development Department staff recommends in the following manner, based on the application, plans, and documents provided for review prior to the hearing and subject to

Staff Report

Case Nos. a) 5857-P-53, b) 5857-P-54 & c) Case No. 5857-P-55

February 2, 2016

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the following conditions:

a) Case No. 5857-P-53: Approval with the same conditions as contained within Ordinance No. 060553, passed 6/8/06 and as shown as follows:

1. That the developer cause the area to be platted and processed in accordance with Chapter 66, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Subdivision Regulations.
2. That the developer submit an update the previously approved macro storm drainage study for the overall development to address the development amendments along with a detailed Micro study for approval prior to approval of the next plat and make necessary improvements as required by Development Services.
3. That the developer provide a storm water conveyance system to serve all proposed lots within the development and determine adequacy as required by Development Services.
4. That the developer submit plans for grading and siltation and erosion control to Development Services for approval prior to beginning any construction activities.
5. That the developer secure a land disturbance permit from Development Services prior to beginning any construction, grading, clearing or grubbing activities, if the disturbed area exceeds one acre.
6. That the developer secure a floodplain certificate if any grading is to occur within a floodplain.
7. That the developer provide cross-access easements as required by Development Services.
8. That the developer extend water mains as required by the Water Services Department.
9. That the developer extend sanitary sewers to ensure individual service is provided to all proposed lots and determine adequacy as required by Development Services.
10. That the developer provide for fire protection and construct all-weather roads as required by the Fire Department prior to construction beyond foundations.
11. That the developer construct North Cosby Avenue from the north, to the existing portion of North Cosby Avenue located at Tremont Manor 7th Plat, prior to any development beyond Phase IV, as required by Development Services.

Staff Report

Case Nos. a) 5857-P-53, b) 5857-P-54 & c) Case No. 5857-P-55

February 2, 2016

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12. That the developer design and construct all public streets to City standards as required by Development Services, including construction of curb, gutter, storm sewers and sidewalks and installation of streetlights.
13. That the developer construct off-site cul-de-sacs as required by Development Services.
14. That the developer dedicate 50 feet of right of way from the centerline of the north side of N.W. 56th Street for a primary arterial street as required by the Development Services.
15. That the developer widen the north half of N.W. 56th Street to primary arterial street standards as required by the Development Services including at a minimum of 2 lanes with curbs, gutters, sidewalks, street lights on one side, transitions to meet vertical and horizontal alignment standards, and relocation of utilities or enter into a deferral agreement at the time of the next plat that the improvement will be constructed when N. Cosby Avenue is extended to NW 56th Street.
16. That the developer relocate streetlights and integrate them into the existing streetlight system as required by Development Services and the Missouri Department of Transportation along State frontages.
17. That the developer submit a street name signage plan for the entire development area to the Street Naming Committee for approval prior to submittal of the first final plat.
18. That the developer receive a permit from the Missouri Department of Transportation prior to working within any State right of way.
19. That the developer show the limits of the 100-year floodplain on the final plat.
20. That the developer submit covenants, conditions and restrictions to the Law Department for approval for the maintenance of private open space and enter into a covenant agreement for the maintenance of any stormwater detention area tracts.
21. That the developer submit a street tree planting plan as part of the final plat with a copy to be submitted to the Department of City Development, secure the approval of the City Forester for street trees planted on right of way in front of residential lots, and plant the street trees in conformance with the plan approved by the City Forester. The plan shall include size, type, species and placement of trees.
22. That the developer submit a final plan to the City Plan Commission for approval prior to the issuance of a building permit. The site plan shall include information regarding,

Staff Report

Case Nos. a) 5857-P-53, b) 5857-P-54 & c) Case No. 5857-P-55

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setback distances, lighting (photometric plan), landscaping and architectural characteristics, berms, trees and plantings around and within the parking lots, show proposed pedestrian circulation and include elevation drawings of buildings and signage.

23. That the developer show the lowest opening or elevation or Minimum Low Opening (MLO) of any structure on each lot that abuts a 100-year flood prone area on the final plat.

b) Case No. 5857-P-54: That the case be Dismissed

c) Case No. 5857-P-55: That the case be Dismissed

Respectfully submitted,



John Eckardt
Planner

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C005857P54_Staffrpt_02_02_2016

C005857P55_Staffrpt_02_02_2016

R-2a
PICTURE HILLS

R-2a

CP-1
DAY CARE

CP-1
OFFICE

CP-2
BANK

PROJECT NO

MAY 4 2006
CITY DEVELOPMENT

RA
UNPLATTED

MISSOURI HWY 45

N.W. 64TH STREET

GOSBY AVENUE

CP-2
TREMONT SQUARE

KEY MAP

Old Orchard
KANSAS CITY, MISSOURI

PRINT FOR DATE
6/25/2015 AMENDED PLAN

NO.	REVISION
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SHAFFER, KLINE & WARREN, INC.
LAND SURVEYORS
LAND PLANNING & ARCHITECTURE
2001 E. 12TH AVE. SUITE 200
KANSAS CITY, MO. 64111
TEL: 781-221-1545 FAX: 781-221-1542

Ochsner Hare & Hare
Planning Consultants/Landscape Architects
3100 Broadway
Suite 1210 Penn Tower
Kansas City, MO. 64111
(816) 753-0770

NO EXISTING SIDEWALKS NEED TO
BE REPAIRED OR RECONSTRUCTED

STORM DRAINAGE STUDY SUBMITTED
TO PUBLIC WORKS, QUALITY CONTROL
REVIEW, CITY PLANNING & DEVELOPMENT
DEPARTMENT ON 4/28/06

5857-CUP-27
ORD 060553
passed 6-8-06

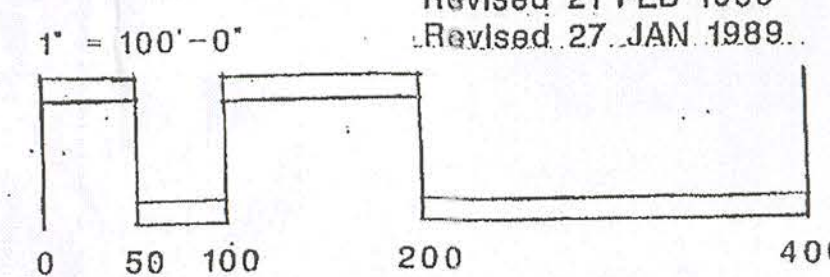
CITY PLAN COMMISSION
RECOMMENDED
APPROVAL
SUBJECT TO CONDITIONS
Charles F. Myers
CHAIRMAN
Virginia Walsh
ASSISTANT SECRETARY
DATE: 12-6-05

Zoning & Preliminary
Development Plan for: R1-b/CUP

Revised 21 FEB 1989
Revised 27 JAN 1989

REVISED 20 DEC. 1988
30 JUNE 1988

26 FEB. 2003
2 SEPT 2005



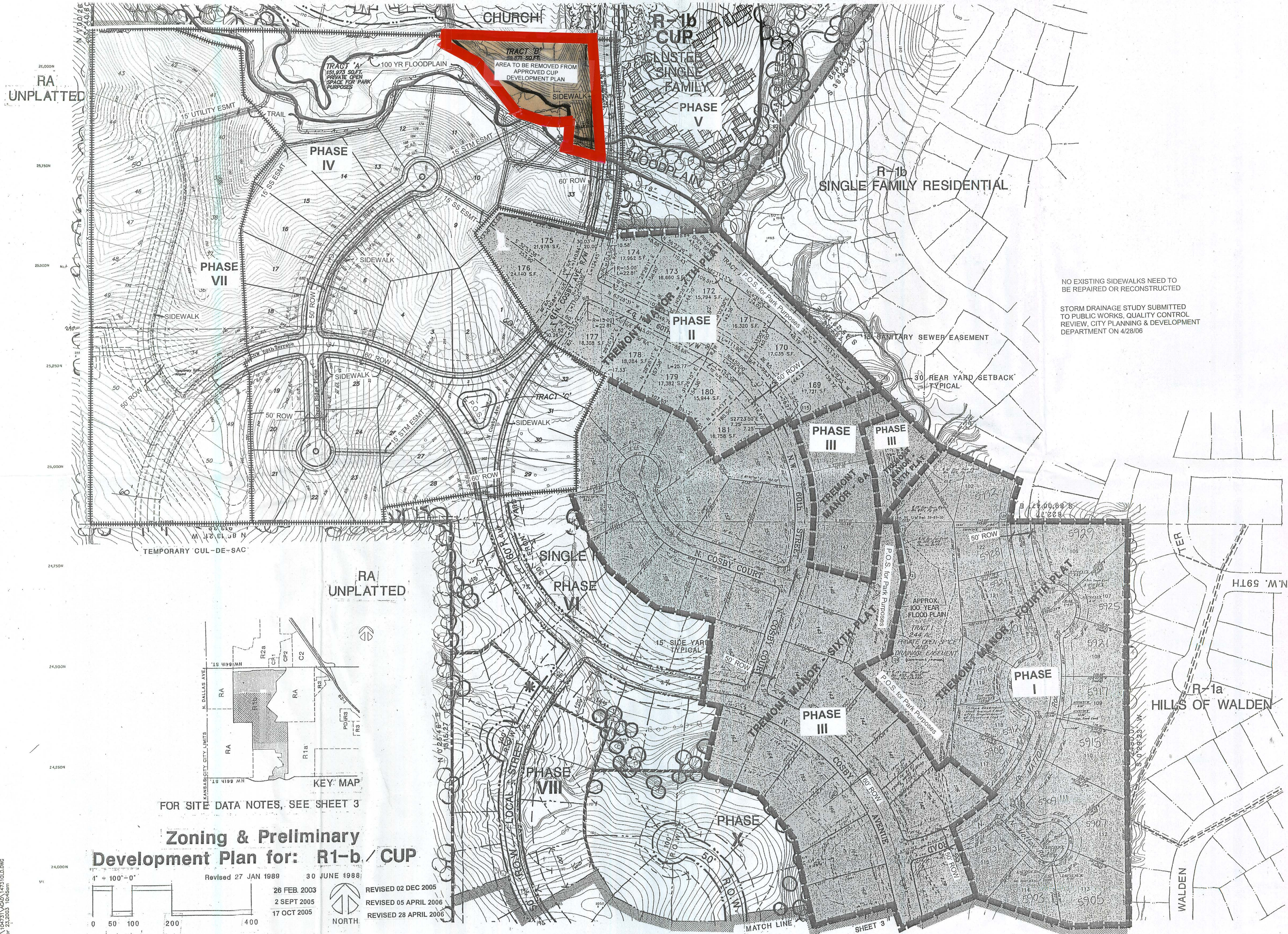
REVISED 28 APRIL 2006

REVISED 02 DEC 2005
REVISED 05 APRIL 2006







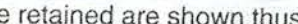
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REQUIREMENTS	
A. Existing Zoning:	R-1b CUP
B. Proposed Zoning:	R-1b CUP
C. Total Acres:	131.36
D. Land area or acres for proposed/existing street right-of-way:	17.09 acres proposed right-of-way
E. Net Acres:	114.27
F. Proposed use of building:	N/A
G. Height above grade of building:	N/A
H. Number of floors:	N/A
I. Total area for building:	N/A
J. floor area ratio:	N/A
K. Residential development shall, in addition, identify gross and net	1.7 du/ac (gross), 2.0 du/ac (net)
L. Commencement date:	1991
M. Completion date:	2008
N. Applications for amendments:	N/A

SITE DATA

- Scale: 1"=100', Contour Interval = 2'
- Property lines are shown thus: 
- Existing R.O.W. and case easements shown thus: 
- Existing contours are shown thus: 
- Major existing trees are shown thus: 
- Areas where existing trees are to be retained are shown thus: 
- All road right-of-way and easements shall comply with Kansas City, Mo. Regulations: local street - 40' R.O.W.; collector street 60' R.O.W.

LAND USE	DWELLING UNITS	ACREAGE	DENSITY	REQ. PARK ACREAGE
Single Family	195	83.13	2.38 du/ac	4.33
Cluster Single Family	30	14.01	2.14 du/ac	0.36
TOTALS	225	97.14		4.69

Average lot area/dwelling unit = 19,030 s.f.

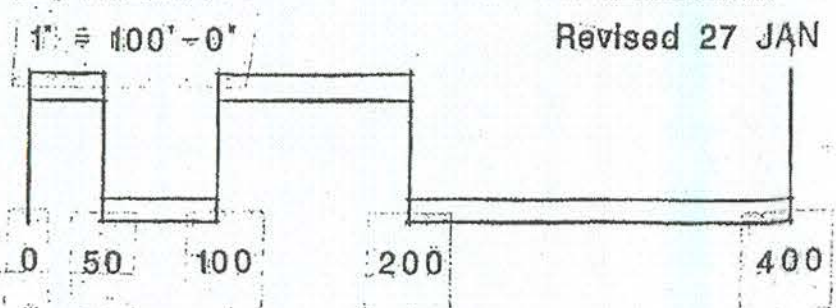
Private Open Space for Park Purposes (Platted) - Provided	4.86
Private Open Space for Park Purposes (Unplatted) - Provided	4.86
Private Open Space - Provided	2.86
Detention	5.42
R.O.W.	17.09
TOTAL ACREAGE	131.36

LAND COVERAGE	BUILDING	PARKING
Single Family	20% average	8% average
Cluster Single Family	34% (1.93 acres)	14% (1.93 acres)

10) PHASING	DWELLINGS	APPROVED	PLAT	OPEN SPACE	PRIVATE OPEN SPACE FOR PARK PURPOSES (PLATTED)	PRIVATE OPEN SPACE FOR PARK PURPOSES (UNPLATTED)
I	18 single family	1991	Tremont Manor 4th		2.44	
II	13 single family	1995	Tremont Manor 7th	0.98		
III	31 single family	1993	Tremont Manor 6th	1.38		
IV	33 single family	2005	Forest Ridge Estates 1st	3.48		
V	30 cluster homes		By Others			
VI	17 single family		Forest Ridge Future			
VII	19 single family		Forest Ridge Future			
VIII	16 single family		Forest Ridge Future			
IX	20 single family		Forest Ridge Future			
X	29 single family		Forest Ridge Future			
XI	Detention		Forest Ridge Estates 2nd	4.925		
TOTAL PARK ACREAGE				6.375	8.28	

- SETBACKS:
 - Single Family: in accordance with District R-11
 - Cluster Single Family: 30 feet front and rear
- PARKING
 - Single Family: 2 parking spaces per dwelling unit
- SIGNS: shall conform to Kansas City, Missouri standards for Districts R-1b, section 39.042
 - * Indicates subdivision sign location

Zoning & Preliminary Development Plan for: R1-b CUP



Revised 27 JAN 1989

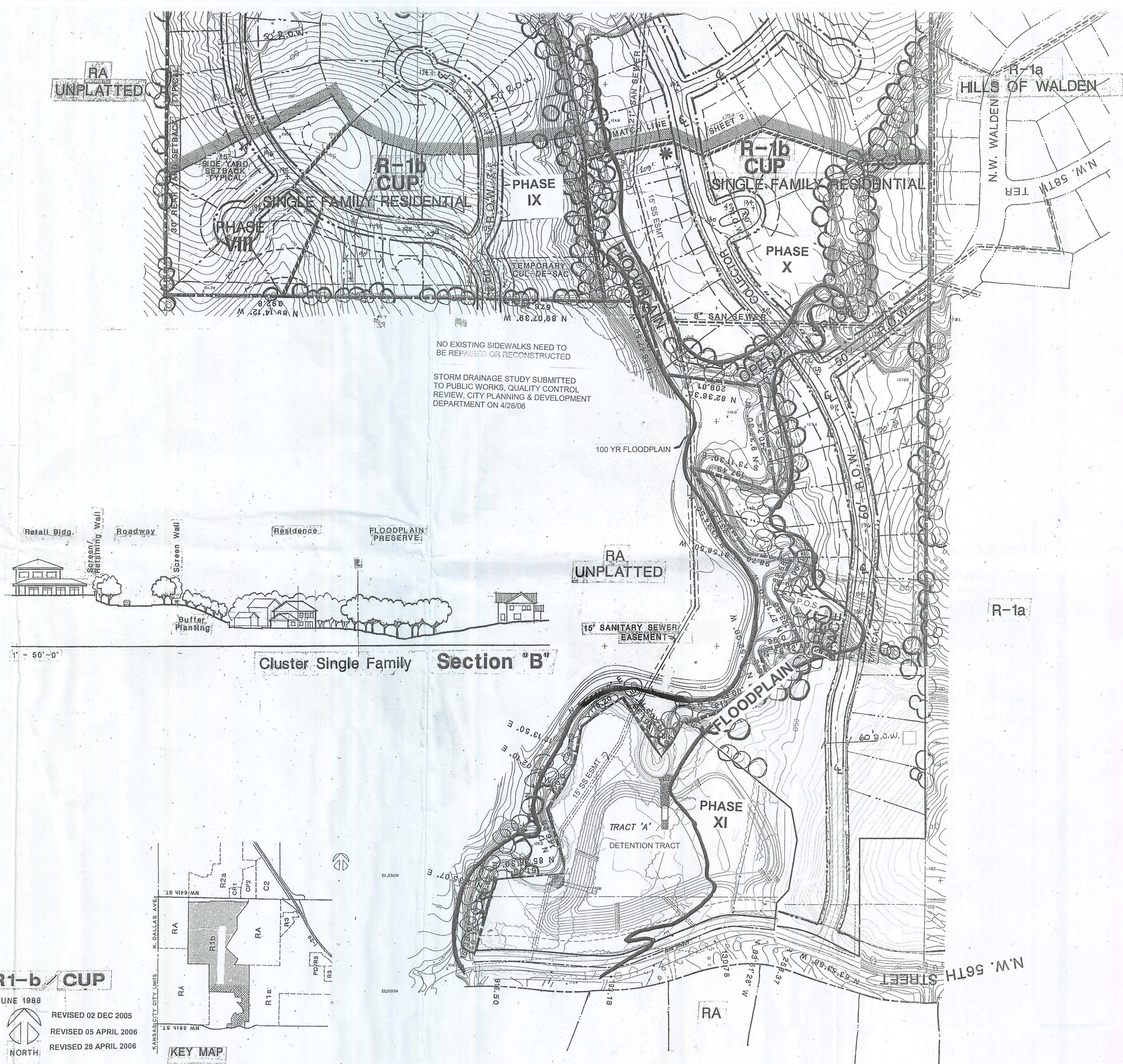
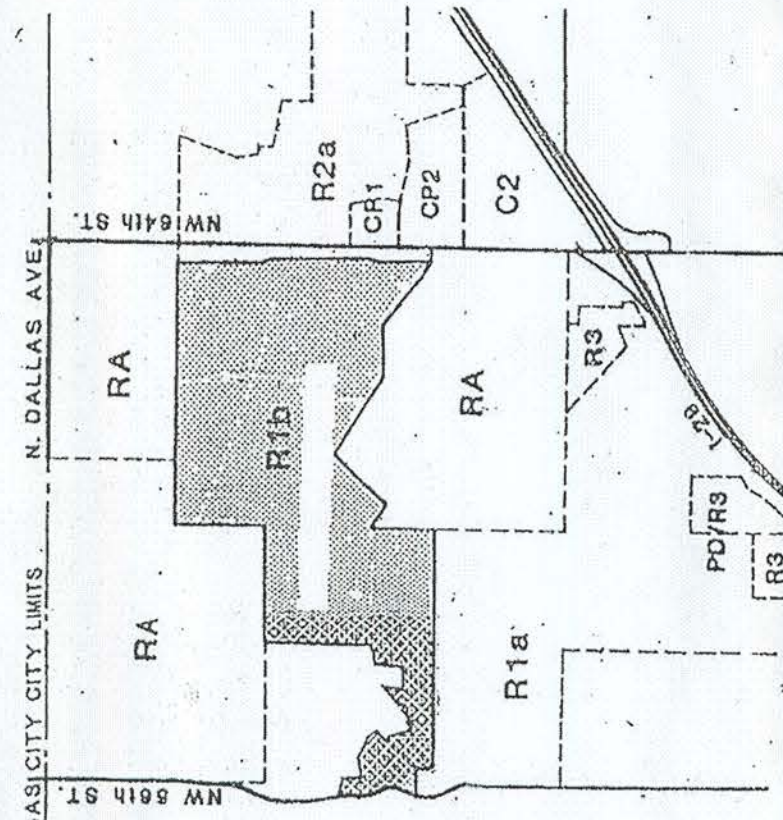
30 JUNE 1988

26 FEB. 2003
2 SEPT 2005
17 OCT 2005



REVISED 02 DEC 2005
REVISED 05 APRIL 2006
REVISED 28 APRIL 2006

KEY MAP



PROJECT NO

Old Orchard
KANSAS CITY, MISSOURI

PRINT FOR DATE
6/25/2015 AMENDED PLAN

NO. REVISION

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PLAN LEGEND:

Proposed Property Line: P
Right-of-way are indicated as thus:
Existing ERW
Proposed PRW
Topography is shown as thus:
Existing 300
Proposed 300

UTILITY LEGEND:

Existing storm sewer ESTM
Proposed storm sewer PSTM
Proposed private storm sewer PPSTM
Existing sanitary sewer ESAN
Proposed sanitary sewer PSAN
Proposed private sanitary sewer PSANP
Existing water mains EW
Proposed water mains PW
Private water mains PPW
Proposed Fire Hydrant FH
Proposed Water Meter WM
Existing gas line EG
Proposed gas line PG
Existing electric line EELE
Proposed electric line ELE
Proposed Overhead Electric POHE
Existing Utility Easement E.U.E.
Proposed Utility Easement U.E.
Existing Easement E
Proposed Easement P
Electric Transformer T
Surface drainage easement SDE

LEGEND OF SYMBOLS AND ABBREVIATIONS:

LP LIGHT POLE
 SSMH SANITARY SEWER MANHOLE
 SV SPRINKLER VALVE
 WM WATER METER
 WV WATER VALVE
 FH FIRE HYDRANT

PROPERTY DESCRIPTION:

CONTAINING 59,876 SQUARE FEET OR 1.37 ACRES

TRACT B, FOREST RIDGE ESTATES, A SUBDIVISION IN KANSAS CITY, PLATTE COUNTY, MISSOURI

SITE DEVELOPMENT DATA: TRACT B

LAND USE	GROSS ACREAGE	GROSS SF	NO. OF BLDGS	NO. OF UNITS	BLDG SF	BLDG AC	OPEN SPACE	NET ACREAGE	FAR
SINGLE-FAMILY	1.37 AC	59,876 SF	2	2	5,300 SF	0.12 AC	0.00	1.37	0.09

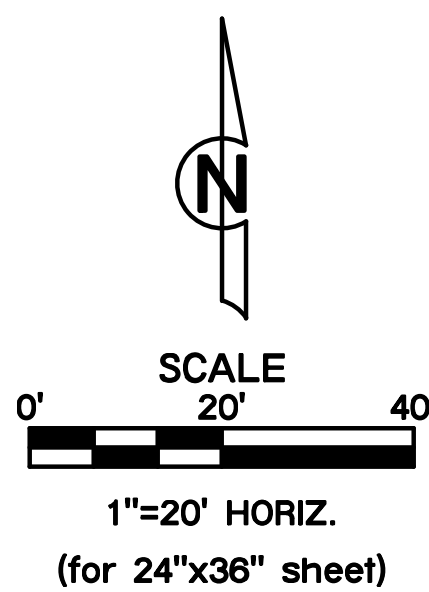
Required Parkland Dedication: $2 \times 3.7 \times 0.008 = 0.044$ acres
Provided: Developer shall pay in cash in lieu of parkland dedication.

GENERAL NOTES:

- Existing zoning is R-6.
Proposed zoning is R-6.
- Total land area: 1.37 Ac.
- Land area for proposed right of way: N/A
- Net land area: 1.37 Ac.
- Existing use is undeveloped. Proposed use: Multi-Family Residential.
- Mets and bounds and legal description are as described in plan set.
- General configuration of lots, tracts and roads are as indicated in plan. Existing conditions and utilities are indicated on this Preliminary Plat.
- Layout of streets and sidewalks are as indicated on plan and/or roadway section. All public sidewalks are to be located within right-of-way. Residential unit types are multi-family.
- Building height shall not exceed 35'.
2 Single-Family dwelling units proposed.
- Building coverage and floor area ratio:
Coverage: 5,300 SF
FAR: 0.09
- Gross density: 1.46 du/ac.
Net density: 1.46 du/ac.
- Land area calculations and required parkland dedication are as indicated in Development Data.
- Proposed contours, grades, easements, treeline to remain and utilities are indicated in plan set and subject to final engineering design & approval by Development Services and private utility companies.
- No grading shall occur within the floodplain except for the construction of public streets, utilities or walking trails. US Army Corps of Engineers 404 permit required.
- Stormwater BMP's shall be approved per Storm Drainage Study.
- Boundary based on survey provided by R.L. Buford & Associates, LLC - 05-02-2014. Plat: Forest Ridge Estates.
- Trees to remain and trees to be removed are labeled.
- No burn piles or debris pits shall be placed within the tree protection zone. No ashes, debris or garbage may be dumped or buried within the tree protection zone.
- Construction is to commence Fall 2015 and complete Fall 2017.

OWNER/APPLICANT/ DEVELOPER:

George Gunter III
520 Division Street
Kansas City, KS 66103
Phone: 913 362 7844
Email: Bids@Gunterkc.com

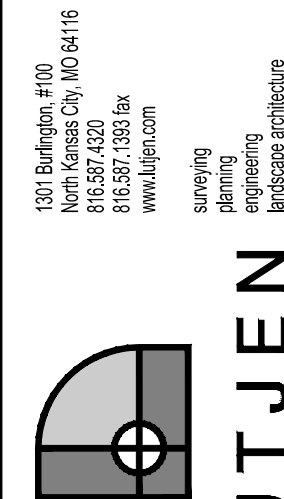


PRELIMINARY PLAT

FOREST RIDGE - TRACT B
Proposed Zoning - R-5
Kansas City, Platte County, MO

Sheet No.:

01



1301 Burlington #100
North Kansas City, MO 64116
Phone: 816 387 7300
www.lutjen.com
surveying
planning
landscape architecture
MO State Certificate of Authority #: 2007022824

Reviewed By:
BPT
Designed By:
SMW
Lutjen Project No.:
15038

DATE: NO.: REVISIONS/APPROVALS:
04-17-2015 Submitted to City.
06-25-2015 Submitted per City comments.
08-02-2015 Submitted per CPC conditions
12-01-2015 Revised Preliminary Plat for Client Review
12-21-2015 Submitted to City.

Location: L:\Projects\15038-01\Plans\Development Plan\15038\Forest Ridge Tract B - Preliminary Plat.dwg

NOTES:

1. FLOODPLAIN SHOWN FROM FEMA DESIGNATED BASE FLOOD ELEVATIONS.
2. TOPOGRAPHY SOURCE FOR SLOPE EVALUATION IS SURVEY.
3. THERE ARE 0.08 AC. OF MATURE VEGETATION AND 1.16 AC. OF SLOPES GREATER THAN 15% WITHIN THE OUTER ZONE OF THE PROPOSED STREAM BUFFER.
4. MITIGATION IN ACCORDANCE WITH SEC. 65-08(C) IS NOT REQUIRED.
5. STREAM BUFFER BOUNDARY MARKERS
 - A. BOUNDARY MARKERS MUST BE PUT IN PLACE CLEARLY MARKING REQUIRED STREAM BUFFERS BEFORE, DURING AND AFTER CONSTRUCTION.
 - B. BOUNDARY MARKERS MUST BE INSTALLED AT THE INTERSECTION OF PRIVATE LOT LINES WITH THE OUTER EDGE OF THE PERMANENT OPEN SPACE BEFORE RECEIVING FINAL CITY APPROVAL OF PLANS FOR CLEARING, GRADING OR SEDIMENT AND EROSION CONTROL.
 - C. CONSTRUCTION FENCING MUST BE PLACED AT THE OUTER EDGE OF THE PERMANENT OPEN SPACE IN THE OUTER ZONE TO DELINEATE THE BUFFER. THE FENCING MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
 - D. PERMANENT SIGNS MUST BE PLACE AT THE EDGE OF THE PERMANENT OPEN SPACE AFTER CONSTRUCTION TO DENOTE THE BUFFER AS FOLLOWS:
 1. FOR SINGLE-LOT DEVELOPMENTS, SIGNS MUST BE POSTED EVERY 100 FEET ALONG THE BOUNDARY OF THE PERMANENT OPEN SPACE.
 2. FOR MULTIPLE LOTS LOCATED ALONG THE BUFFER, SIGNS MUST BE LOCATED AT THE INTERSECTION OF EVERY OTHER LOT LINE ALONG THE BOUNDARY OF THE PERMANENT OPEN SPACE.
 3. THE SIGN FACE SHALL BE TWO SQUARE FEET IN AREA.
 4. REQUIRED SIGNS MUST READ: "PROTECTED STEAM BUFFER DO NOT DISTURB", WITH THE SIGN MESSAGE LOCATED APPROXIMATELY 4 FEET ABOVE GROUND. NO OTHER MESSAGE SHALL BE ON THE SIGN.
 5. SIGNS MUST BE MAINTAINED AND REMAIN LEGIBLE AT ALL TIMES.

PLAN LEGEND:

Proposed Property Line:	
Right-of-way are indicated as thus:	
Existing	
Proposed	
Topography is shown as thus:	
Existing	
Proposed	

UTILITY LEGEND:

Existing storm sewer		ESTM
Proposed storm sewer		PSTM
Proposed private storm sewer		PPSTM
Existing sanitary sewer		ESAN
Proposed sanitary sewer		PSAN
Proposed private sanitary sewer		PPSANP
Existing water mains		EW
Proposed water mains		PW
Private water mains		PPW
Proposed Fire Hydrant		FH
Proposed Water Meter		WM
Existing gas line		EG
Proposed gas line		PG
Existing electric line		ELEC
Proposed electric line		PELEC
Proposed Overhead Electric		POHE
Existing Utility Easement		E.U.E.
Proposed Utility Easement		P.U.E.
Existing Easement		E
Proposed Easement		P
Electric Transformer		T
Surface drainage easement		SDE

LEGEND OF SYMBOLS AND ABBREVIATIONS:

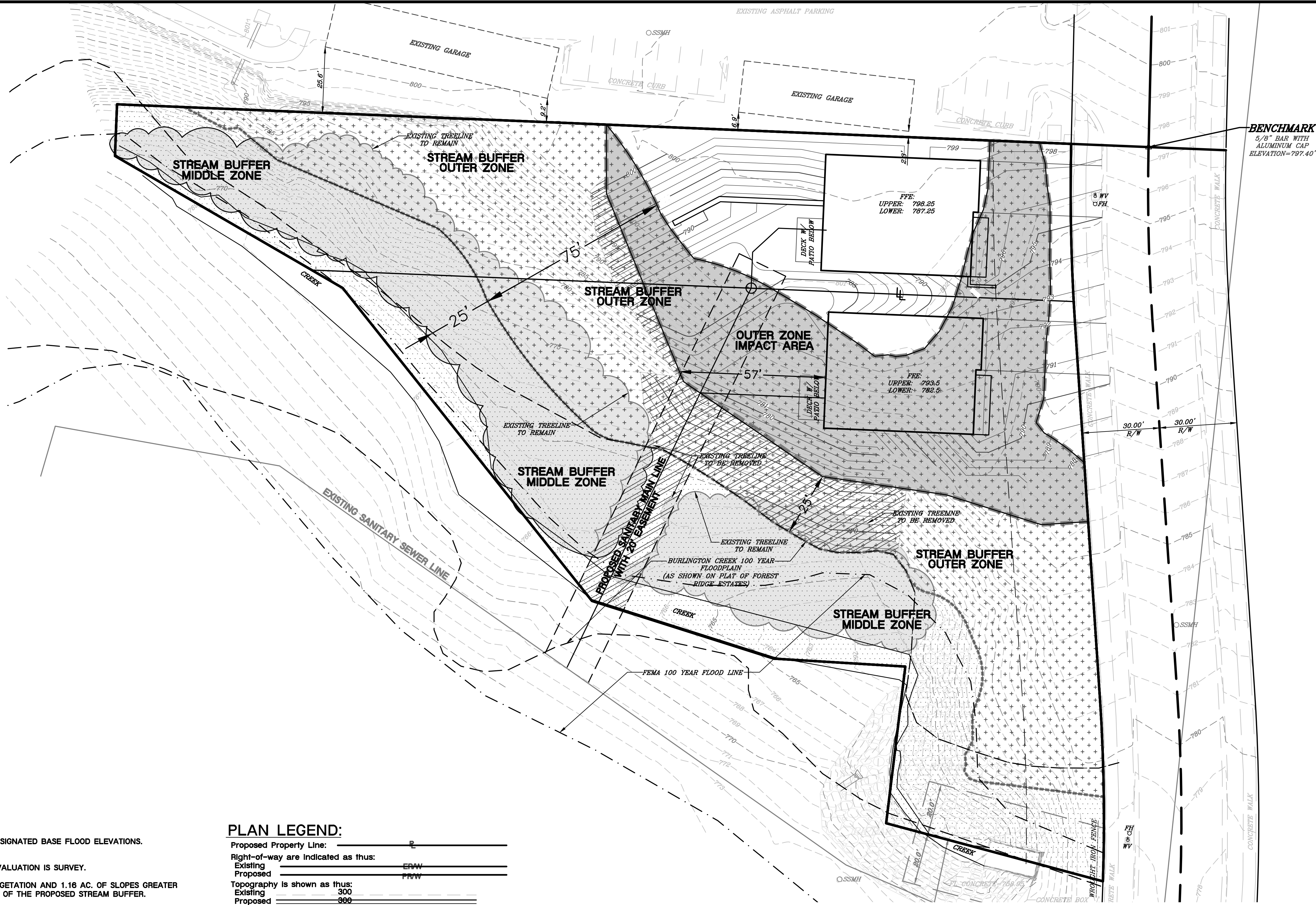
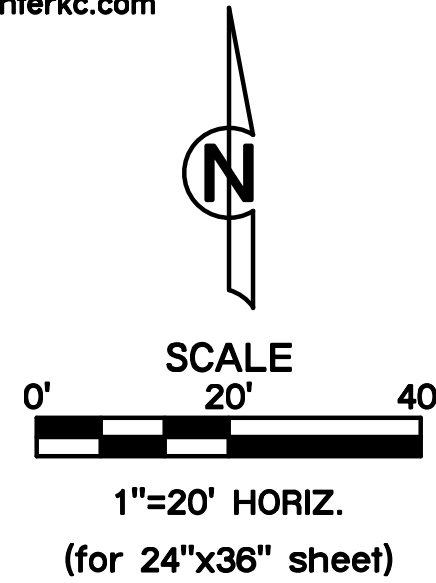
LP		LIGHT POLE
SSMH		SANITARY SEWER MANHOLE
SV		SPRINKLER VALVE
WM		WATER METER
WV		WATER VALVE
FH		FIRE HYDRANT

STREAM BUFFER LEGEND:

	STREAMSIDE/MIDDLE ZONE 1.65 AC.		OUTER ZONE AREA DISTURBED AND VEGETATION REESTABLISHED
	OUTER ZONE 0.70 AC.		
	OUTER ZONE IMPACT AREA 0.28 AC. (40%)		
	MATURE VEGETATION 0.08 AC. WITHIN OUTER ZONE		

OWNER/APPLICANT/
DEVELOPER:

George Gunter III
520 Division Street
Kansas City, KS 66103
Phone: 913 362 7844
Email: Elds@Gunterkc.com



PRELIMINARY STREAM BUFFER PLAN

FOREST RIDGE - TRACT B
Proposed Zoning - R-5
Kansas City, Platte County, MO

Sheet No.:

02

LUTJEN

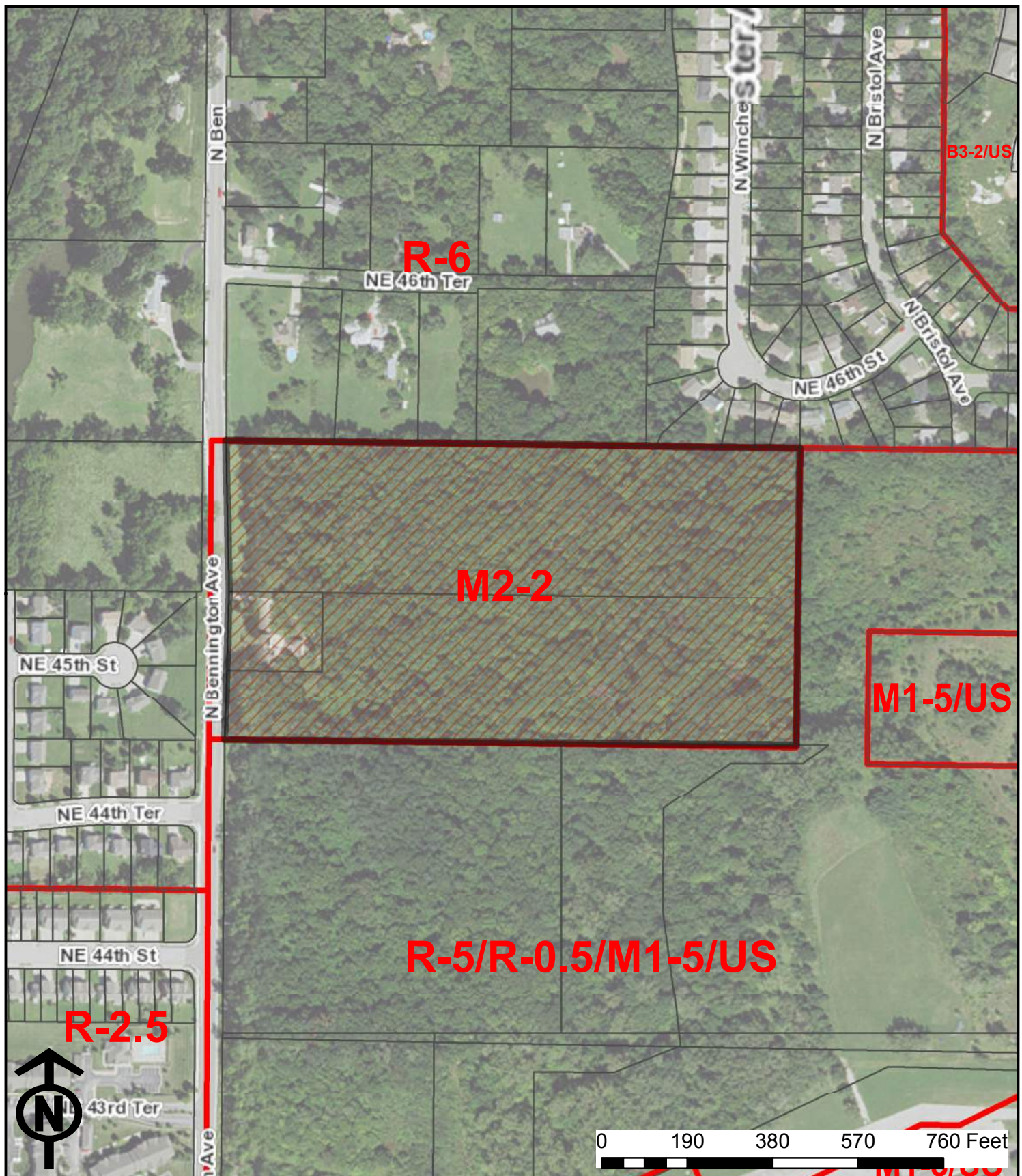
1301 Burlington #100
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MO State Certificate of Authority #: 2007022824

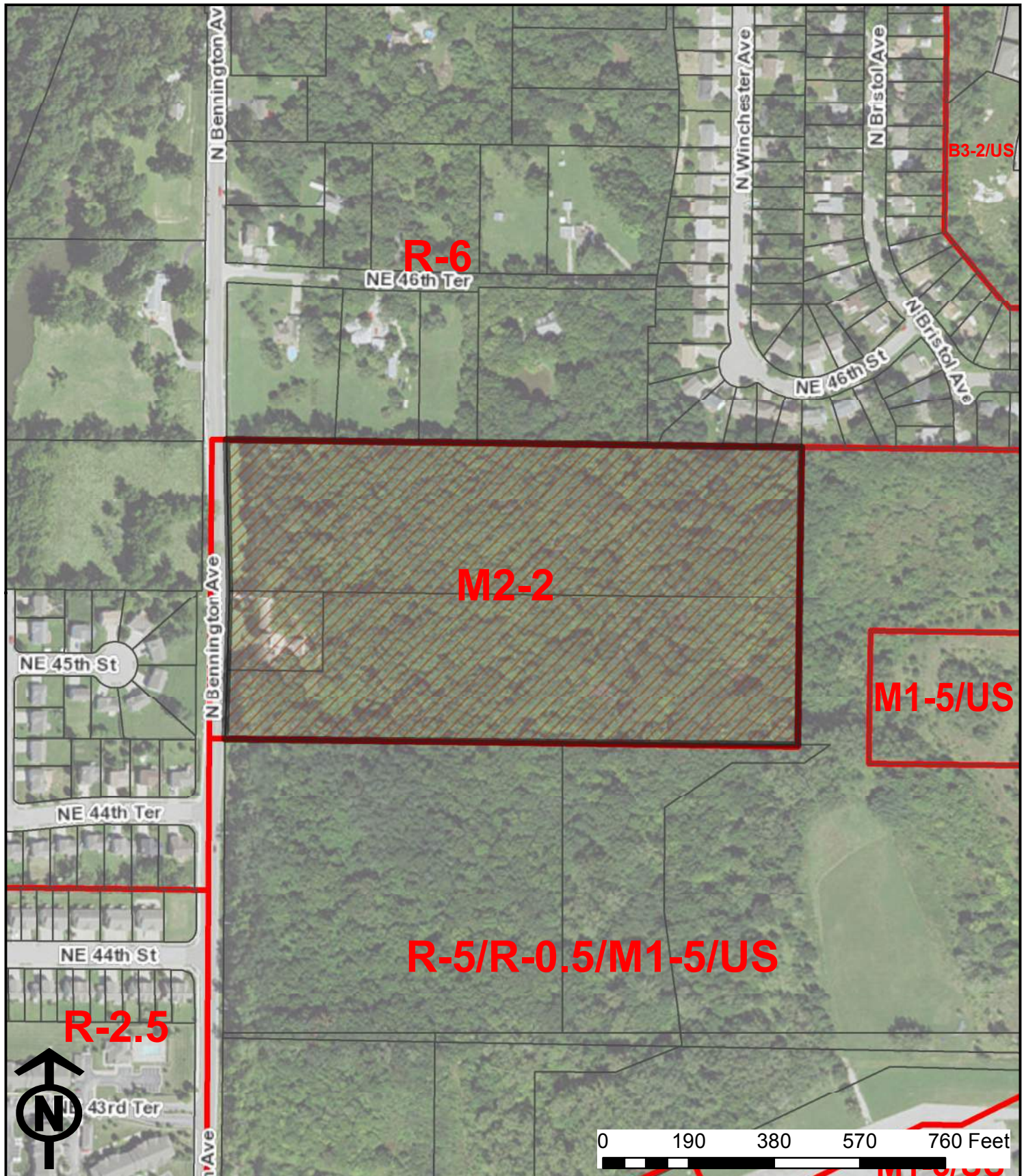
Reviewed By:	BGP
Designed By:	SWW
Drafted By:	SWW
Lutjen Project No.:	15038

DATE:	NO.:	REVISIONS/APPROVALS:
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06-25-2015		Submitted per City comments.
08-02-2015		Submitted per CPC conditions
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12-21-2015		Submitted to City.

Case No. 673-S-4 – A request to amend the Briarcliff-Winwood Area Plan by changing the recommended land use on about 19.337 acres generally located on the east side of N Bennington Avenue and approximately 350 feet south of NE 46th Street from institutional to residential low density.



Case No. 14638-P – A request to rezone about 19.337 acres generally located on the east side of N Bennington Avenue and approximately 350 feet south of NE 46th Street from M2-2 (Manufacturing 2 dash 2) to R-6 (Residential dash 6) to allow for future residential development.





City Planning & Development Department

Development Management Division

15th Floor, City Hall
414 East 12th Street
Kansas City, Missouri 64106-2795

816 513-8801
Fax 816 513-2838

STAFF REPORT

February 2, 2016

(8 & 9)

RE: **Case No. 673-S-4**
Case No. 14638-P

APPLICANT/ AGENT: Westfall-O'Dell Motors, Inc.
PO Box 418050
Kansas City, MO 64141

PROPERTY OWNER: Westfall-O'Dell Motors and Dana & Keith Nelson Trust
4543 N Bennington Avenue
Kansas City, MO 64117

AGENT: Patricia Jensen and Elaine Bowers
White Goss
4510 Belleview Avenue, Suite 300
Kansas City, MO 64111

LOCATION: generally located on the east side of N Bennington Avenue and approximately 350 feet south of NE 46th Street

AREA: About 19.337 acres

ZONING: M2-2

REQUESTS: **Case No. 673-S-5** – A request to amend the Briarcliff-Winnwood Area Plan by changing the recommended land use on from institutional to residential medium density.
Case No. 14638-P – A request to rezone about 19.337 acres generally located on the east side of N Bennington Avenue from M2-2 (Manufacturing 2 dash 2) to R-6 (Residential dash 6) to allow for future residential development.

SURROUNDING LAND USE: **north:** low density residential (zoned R-6)
south: industrial and undeveloped (zoned M2-2, R-5, R-0.5, M1-5, US)
east: industrial (zoned M1-5)
west: residential (zoned R-2.5, R-6), Hidden Valley Park

LAND USE PLAN: The Briarcliff Winnwood Area Plan (Resolution No. 971268) recommends institutional land uses in this location.

MAJOR STREET PLAN: No immediate streets.

PREVIOUS CASES: No known cases.

EXISTING CONDITIONS:

The subject site is an unplatted and mostly undeveloped property zoned M2-2. On the west side of the property a single family home is developed on .853 acres of the total 19.377 acres. The site is heavily vegetated. Directly north and west of the site is single family residential development. The area plan of record is the Briarcliff Winnwood Area Plan which recommends institutional land uses in this location.

AREA PLAN AMMENDMENT REVIEW & ANALYSIS:

The Briarcliff Winnwood Area Plan recommends institutional land uses in this location. The following is the definition of institutional uses from the area plan:

Institutional: Areas designated as Institutional include a variety of public and quasi-public uses and facilities that are government owned. More intensive uses like hospitals, and large government office buildings should be limited to appropriate non-residential areas.

The applicant is proposing changing the recommended land use from institutional to residential medium to correspond with the proposed R-6 zoning. The following is the definition of residential medium from the area plan:

Residential Medium: Intended for a variety of building types that allows up to 8.7 units per acre. This land use classification corresponds with the "R5", "R6", and "R7.5" zoning category.

The area is surrounded by residential low density and residential medium land uses and the proposed land use change is in conformance with the surrounding area. Additionally the recommended land use map shows a Conservation District Overlay in this area. The Conservation District Overlay will remain and is defined as follows:

Conservation District Overlay: Areas are intended to encourage flexibility in design standards (example: reduced lot sizes or increased density) in exchange for 60% open space preservation. These areas will allow a variety of uses and residential densities and building types (consistent with the underlying recommended land use). These areas will provide additional open space and recreational amenities for residents, preserve environmentally sensitive resources as well as reduce storm water runoff and water pollutants. This land use classification corresponds with the Conservation Development option for "R" Districts.

Staff is supportive of the area plan amendment request.

REZONING REVIEW & ANALYSIS:

The site is immediately adjacent to single family residential developments to the north and west. Further to the east is commercial development. This rezoning request would bring the allowed uses into conformance with the surrounding development. M2-2 zoning allows many uses which could have a negative impact on residential development. Additionally, a regulated stream runs through the east side of the site and residential development would better allow for the protection of this resource. An existing single family home currently zoned M2-2 will also be rezoned through this request. This rezoning will appropriately rezone the existing house and allow for future development that is conducive to its surroundings.

There are no immediate plans to develop this property. When developed the property must be platted. If the lots are subdivided to the minimum required lot area – 6,000 square feet – approximately 140 houses could be placed on the site. This calculation does not include area for streets, stream buffers or required open space. The Conservation District Overlay recommendation

from the area plan recommends that Conservation Development Lot and Building Standards be used in this location. Conservation Development allows for smaller lot sizes and setbacks in exchange for the conservation of natural resources on the overall site. Under the Conservation Development standards approximately 175 houses could be placed on the site.

The R-6 district will allow for the following housing types:

- Detached house
- Zero lot line house
- Semi-attached houses (on corner lots only)
- Two-unit houses (on corner lots only)

Staff has found the rezoning to be in conformance with the review criteria of 88-515-08. Staff is supportive of the rezoning based on the surrounding land uses and the proposed area plan amendment.

RECOMMENDATIONS:

Case No. 673-S-5 – City Planning and Development Staff recommends approval Case No. 14634-P, based on the application provided for review prior to the hearing with the following condition:

1. That the Conservation Overlay District remains on the recommended land use map.

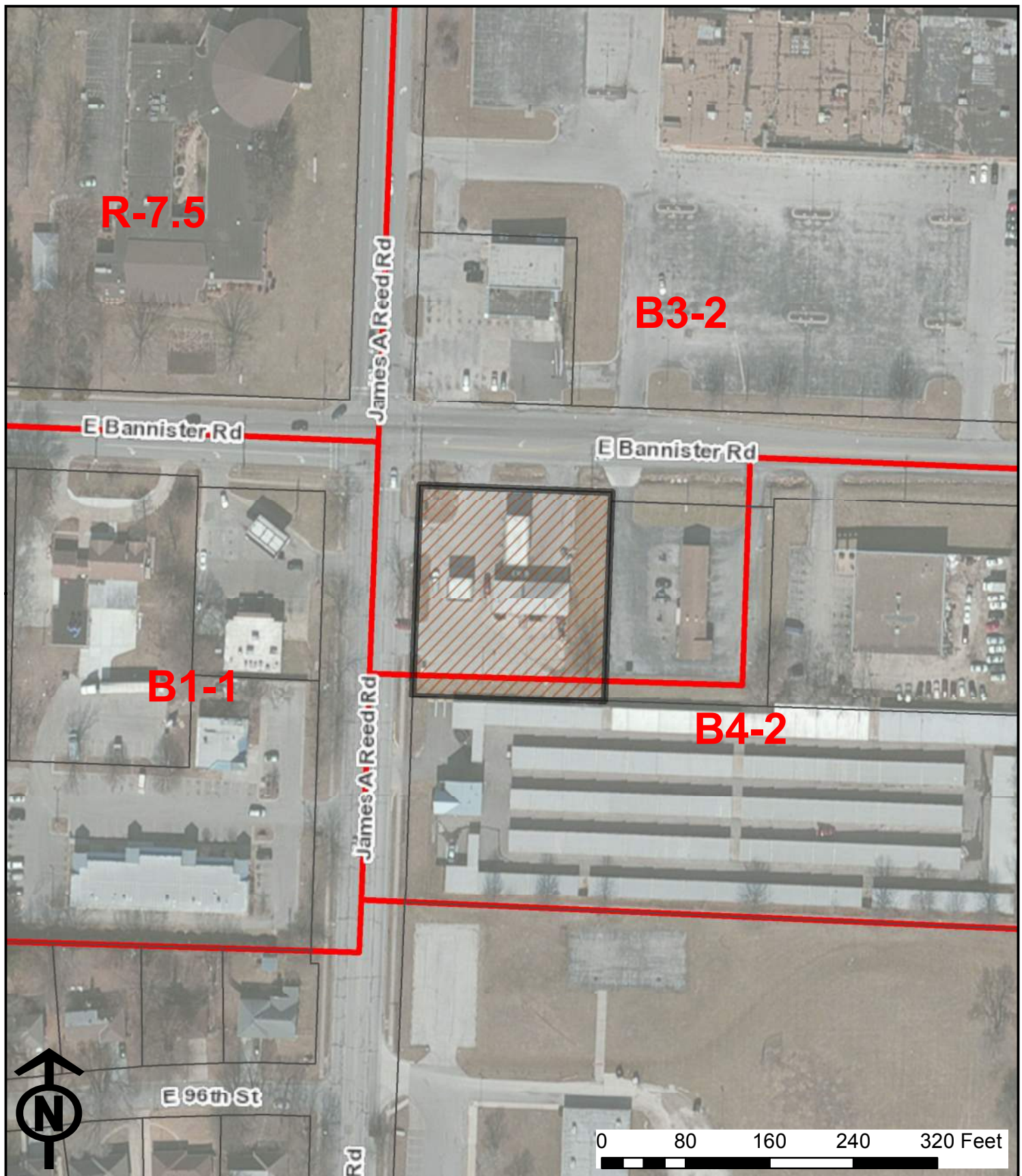
Case No. 14638-P – City Planning and Development Staff recommends approval Case No. 14638-P based on the application provided for review prior to the hearing without conditions.

Respectfully submitted,



Ashley Winchell
Planner

Case No. 14621-SU – 8201 Bannister Road – About .83 acres generally located at the southeast corner of James A Reed Road and Bannister Road, to consider approval of a Special Use Permit to expand an existing gas station and convenience store, plus any necessary variances.





City Planning & Development Department

Development Management Division

15th Floor, City Hall
414 East 12th Street
Kansas City, Missouri 64106-2795

816 513-8801
Fax 816 513-2838

STAFF REPORT

February 2, 2016

(10)

RE:

Case No. 14621-SU

APPLICANT/ AGENT:

Khalid Banday
KAM Designs
9000 E Bannister Road
Kansas City, MO 64134

OWNER:

Ocean Petroleum Co.
8201 E Bannister Road
Kansas City, MO 64134

LOCATION:

8201 E Bannister Road – generally located at the southeast corner of James A Reed Road and Bannister Road

AREA:

About 0.844 acres

ZONING:

B3-2

REQUESTS:

to consider approval of a Special Use Permit to expand an existing gas station and convenience store

RECOMMENDATION:

Staff recommends this case be continued to February 16, 2016 without a continuance fee.

Respectfully submitted,

Ashley Winchell
Planner

Case No. 10771-UR-2 - About 0.5 acres generally located at 415 E 63rd St, to consider rezoning from District B3-2 (Community Business) to District UR (Urban Redevelopment), and approval of a preliminary development plan for a residential development.





City Planning & Development Department

Development Management Division

15th Floor, City Hall
414 East 12th Street
Kansas City, Missouri 64106-2795

816 513-2846
Fax 816 513-2838

STAFF REPORT

February 2, 2016

(11)

RE: **Case 10771-UR-2**

OWNER/APPLICANT: Lance Carlton
63rd Street Townhomes, LLC
2943 McGee Trafficway
Kansas City, MO 64108

LOCATION: Generally located at [415 E 63rd St.](#)

REQUESTS: To consider rezoning from District B3-2 (Community Business) to District UR (Urban Redevelopment) and approval of a preliminary development plan for a residential development which acts as a preliminary plat.

AREA: About 0.5 acres.

SURROUNDING LAND USE:

North	E 63 rd St beyond which are commercial uses zoned B3-2.
West	Commercial uses zoned B3-2.
South	Residential uses zoned R-2.5 (Residential 2.5)
East	Commercial uses zoned B3-2.

LAND USE PLAN: The 63rd Street Corridor Land Use and Development Plan recommends "Mixed Use Residential / Commercial / Office / Institutional" land uses for the subject site and specifically recommends townhouses. The proposed development is consistent with the Recommended Land Use. The plan also recommends design guidelines with which the proposed development is not fully consistent.

MAJOR STREET PLAN: E 63rd St is classified as as a four-lane thoroughfare with 100 ft of right-of-way required at this location. Approximately 80 ft of right-of-way is provided necessitating dedication of right-of-way or obtaining a waiver from said dedication from the Transportation and Development Committee.

ARTERIAL STREET IMPACT FEE: The subject property is exempt from impact fees as required by Chapter 39.
(Informational only)

PREVIOUS CASES: **Case 731-S** – Ordinance 160013 was passed by the City Council on January 28, 2016 approving the 63rd Street Corridor PIEA General Development Plan for an area of about 15 acres on either side of E 63rd St between Oak St and Troost Ave, including the subject property. The applicant is seeking incentives for this redevelopment project under this plan.

EXISTING CONDITIONS:

The subject property is located on the south side of E 63rd St about a half-block east of Oak St. The properties to the north, east and west are commercial in nature, some vacant and some occupied; all zoned B3-2. The properties to the south are residential and zoned R-2.5. The property is currently undeveloped and has been since at least 2006. A small portion of the property forms a panhandle extending westward, south of the adjacent property to the west, to Oak St and as a result the property has two frontages (Oak and 63rd), with the larger of the two along 63rd.

REZONING AND PRELIMINARY PLAN REVIEW:

The developer proposes developing the subject property with a five-unit townhome building. The units will be for-sale residences. Townhomes are a type of attached housing in the zoning and development code and are a permitted use under current zoning (B3-2), however, the developer is seeking incentives under the recently-approved 63rd Street Corridor PIEA General Development Plan, which requires rezoning to District UR. As a consequence, the developer has submitted the rezoning request and associated preliminary development plan.

The plan depicts the property developed with the residential building in the northern two-thirds of the site, adjacent to but set back between 14 and 30 ft with landscaped areas and sunken patios located between the two. The varying setback is a result of building design where each unit is staggered such that each will have a clear view toward the west from the north side of each unit, and toward the east from the south side of each unit. Vehicular access to the site will be through a one-way drive from Oak St to garages under each unit, as well as three overflow/visitor parking spaces, then exiting through a one-way drive to 63rd St. With the exception of the drive entrance and exit, the entire vehicular use area will be located behind the building.

Preliminary Plat

The developer is proposing a one-lot preliminary plat consisting of the entire subject property. The developer intends to sell the individual units and desires to plat them as a condominium plat. This will require the developer to first obtain approval of a final plat of the land prior to obtaining administrative approval of a condominium plat as allowed for by 88-535-02-D.

Parkland Dedication (88-408)

Because residential uses are proposed, the developer is responsible for payment in lieu of dedication for parkland purposes as authorized by 88-408-C of the zoning and development code. Staff is recommending a condition related to this.

Parking and Loading Standards (88-420)

A total of five parking spaces are required (1 per unit) and the plan proposes two-car garages for each unit plus three spaces outside of garages for overflow/visitor parking. Bicycle parking is only required for residential developments containing twelve or more units and the developer does not intend to provide any. The proposed plan complies with all applicable standards.

Landscaping and Screening Standards (88-425)

The landscape plan proposes street trees and shrubs between the sunken patios adjacent to 63rd St. Additional shrubs are proposed on both sides of the drive exiting onto 63rd. Additional trees are proposed along the west side of the building and south side of the parking area along with additional shrubs, including evergreen shrubs in the same area. The plan complies with all applicable landscape and screening standards.

Outdoor Lighting Standards (88-430)

The outdoor lighting plan with photometric study provided complies with the applicable

standards.

Sign Standards (88-445)

No signage is proposed at this time. Any signage proposed must comply with 88-445 of the zoning and development code and be evaluated for compliance at time of sign permit.

Pedestrian Standards (88-450)

Each unit will feature a sunken patio between 63rd St and the north side of the building. A sidewalk will connect the "front door" of each unit at the patio with the public sidewalk along 63rd St. Access to the greater public sidewalk system is available from that point. The plan complies with all applicable pedestrian standards.

Building Elevations

A contemporary design is proposed with north and south elevations of similar appearance to one another, and an east and west of similar appearance to one another, but substantially different from the north and south sides, which have a more finished and detailed appearance. The north and south elevations will consist of painted metal siding and large windows along walls, with a flat roof which overhangs balconies on the second levels. The area overhanging the balconies is exposed as a wall as each unit is staggered and these exposed areas are constructed of a wood siding. The east and west elevations are proposed to consist of one material – stucco, and include three windows each.

Area Plan Recommendation

The area plan recommends a townhouse use for the subject property, therefore the proposed use is supported by the plan. The plan also makes recommendations for building design, including the following relevant recommendations:

1. *"Enriched building materials such as brick, stone, and stucco." (pg. 67)*
2. *"The preferred materials for building in the corridor are brick, stone, and in some cases, stucco. Brick and stone should not be painted." (p. 91)*
3. *"Brick, stone and stucco should comprise the majority building material for external facades. For residential townhouses, lap siding or wood shingles is appropriate for portions of the structure, typically upper levels. Other building materials may be utilized for accent features." (p. 91)*
4. *"Buildings should not have long, blank expansive facades. In addition to window and door openings, building facades should express variations in the form through materials or slight variations in setbacks along the façade. This may also be enhanced through architectural details and features, building heights, and color. This should apply to all sides of buildings." (p. 91)*

Staff Response: In light of these recommendations Long Range Planning staff provided the following comments at Development Review Committee:

- a. *Incorporate brick, stone, and/or stucco as a primary building material for external facades.*
- b. *Express variations in the eastern and western facades by incorporating window openings and other architectural details such as change in materials, setbacks or colors.*

In response to these comments, the applicant revised the elevations to provide three windows on the east and west elevations. Staff believes the addition of windows to the east and west facades is a step in the right direction, but finds that these facades should be further modified to include a change in materials, setbacks, colors, and/or additional windows on the northern half of the facades in order to fully conform recommendation number four above (i.e. to "express variation in the form (building) through materials or slight variations in setbacks along the façade" or "through architectural details and features, building height or color").

ANALYSIS:

In reviewing and making decisions on proposed zoning map amendments, the city planning and development director, city plan commission, and city council must consider at least the following factors:

88-515-08-A. Conformance with adopted plans and planning policies;

The 63rd Street Corridor Land Use and Development Plan recommends "Mixed Use Residential / Commercial / Office / Institutional" land uses for the subject site and specifically recommends townhouses. The proposed development is consistent with the Recommended Land Use. The plan also recommends design guidelines with which the proposed development is not fully consistent. Subject to the recommended conditions, the proposed rezoning and plans conform to the Greater Downtown Area Plan.

88-515-08-B. Zoning and use of nearby property;

Surrounding properties are zoned B3-2 and R-2.5.

88-515-08-C. Physical character of the area in which the subject property is located;

The physical character is mainly low-rise, strip commercial transitioning to detached residential to the south.

88-515-08-D. Whether public facilities (infrastructure) and services will be adequate to serve development allowed by the requested zoning map amendment;

Adequate public facilities are available.

88-515-08-E. Suitability of the subject property for the uses to which it has been restricted under the existing zoning regulations;

Existing zoning allows the proposed use and remains suitable for the subject property given its prevalence along 63rd Street to both the east and west. Rezoning is only necessary due to the developer's desire to obtain incentives under a previously-approved tax incentive plan.

88-515-08-F. Length of time the subject property has remained vacant as zoned;

The property has been vacant and undeveloped since at least 2006.

88-515-08-G. The extent to which approving the rezoning will detrimentally affect nearby properties; and

The proposed zoning is tied to the proposed development plan which, if approved, would restrict the use of the property to the residential development proposed. Following approval, other uses or development patterns would not be allowed unless the property is rezoned and the plan amended through the normal rezoning process. The specific use proposed is itself individually recommended by the area plan, which is a plan whose recommendations are made following an extensive public input process. Incremental redevelopment of commercial corridors between nodes from commercial or vacant land uses to residential uses is also a recommended policy of FOCUS as it serves to increase residential densities in established areas of the community, which in turn increases demand for commercial uses within the same areas.

88-515-08-H. The gain, if any, to the public health, safety, and welfare due to denial of the application, as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.

Denial of the application would result in existing B3-2 zoning being retained on the property and preclude the ability of the developer to obtain the requested incentives. Staff finds that approval of the proposed rezoning will result in a gain to the public health, safety, and welfare given that it proposes a compatible land use consistent with adopted policy.

RECOMMENDATION:

City Planning and Development Staff RECOMMENDS APPROVAL of Case No. 10771-UR-2 based on the application, plans, and documents provided for review prior to the hearing and subject to the following conditions as provided by the Development Review Committee at the January 6, 21016 meeting:

1. That two (2) collated, stapled, and folded (to 8.5 by 11 in. size) hardcopies and one (1) digital copy (CD containing a pdf file, a georeferenced monochromatic TIF file, and CAD/GIS compatible layer of the site plan boundary referenced to the Missouri state plane coordinate system) of the plans, **revised as noted below**, be submitted to Development Management staff (15th Floor, City Hall), prior to ordinance request showing:

The following revisions are recommended by the Long Range Planning Division of City Planning and Development Department. Please contact Kellie Johnston-Dorsey at 816-513-2889 or kellie.johnston@kcmo.org with questions.

- a. That the east and west building elevations be modified such that they incorporate variations in the form of architectural details such as change in materials, setbacks, colors, and/or additional windows on the northern half of the facades in addition to the windows provided, as recommended by the 63rd Street Corridor Land Use and Development Plan.
2. That prior to issuance of a building permit, the developer secure approval of a final development plan from the Development Management Division of City Planning and Development Department and that said plan be in substantial conformance to the approved preliminary development plan and include a detailed site plan, color elevations with all materials labeled, landscape plan, and lighting plan with photometric study.

The following condition is recommended by the Water Services Department. Please contact Karine Papikian at 816-513-0300 or karine.papikian@kcmo.org with questions.

3. Provide wider easement for existing 10" sanitary sewer easement as required by the Water Services Departments sewer easement matrix.
4. Relocate public fire hydrant.

The following condition is recommended by the Parks & Recreation Department. Please contact Richard Allen at 816-513-7713 or richard.allen@kcmo.org with questions.

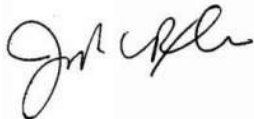
5. That prior to issuance of a building permit, the developer is responsible for payment in lieu of land dedication for parkland purposes as authorized by 88-408-C of the zoning and development code. The amount due shall be based upon the formula established by 88-408-A multiplied by the 2016 acquisition rate.

The following conditions are recommended by Land Development Division of City Planning & Development Department. Please contact Brett Cox at 816-513-2509 or brett.cox@kcmo.org with questions.

6. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations.
7. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the entire site to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted, and the developer secure permits to construct

- any improvements required by the Land Development Division prior to recording the plat.
8. The developer must dedicate additional right of way for E 63rd Street as required by the adopted Major Street Plan and Chapter 88 so as to provide a minimum of 50 feet of right of way as measured from the centerline, along those areas being platted, or seek approval recommendations from the Transportation and Development Committee for any variances requested to the Major Street Plan prior to City Plan Commission approval.
 9. The developer must subordinate to the City all private interest in the area of any right-of-way dedication, in accordance with Chapter 88 and as required by the Land Development Division, and that the owner/developer shall be responsible for all costs associated with subordination activities now and in the future.
 10. After the City Plan Commission enters its disposition for the development plan, the developer shall not enter into any agreement that would encumber or otherwise have any impact on the proposed right-of-way dedications for the planned project without the prior written consent of the Land Development Division.
 11. The developer shall verify vertical and horizontal sight distance for the drive connection to public right-of-way and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met.
 12. The developer submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, to identifying sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 4/8/09" and base on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits.
 13. The developer must obtain the executed and recorded city approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting.
 14. The developer shall submit an analysis to verify adequate capacity of the existing sanitary sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required.
 15. The developer must secure permits to extend storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Land Development Division, prior to recording the plat or issuance of a building permit whichever occurs first.
 16. The developer must grant a BMP Easement to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits.

Respectfully submitted,



Joseph C. Rexwinkle, AICP
Planner

63rd & Oak
Townhouses

63rd and Oak
Kansas City, MO

project number:
15030

owner:
UC-B Properties
2949 McGee Trafficway
Kansas City, MO 64108
816.379.6687

architect:
Blackbird Design Studio
2100 Central, Suite 21
Kansas City, MO 64108
816.719.3400



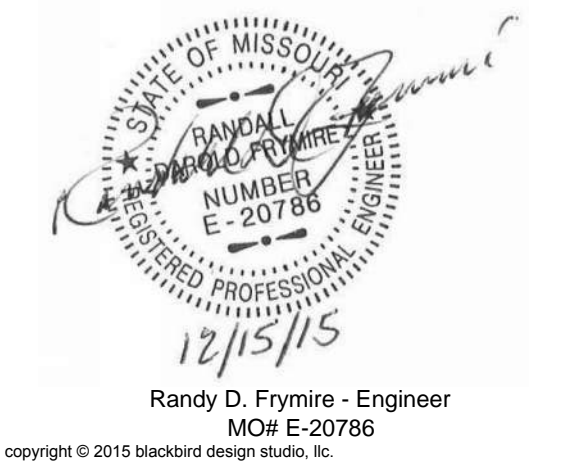
structural engineer:
J&S Structural Engineers
15185 Lowell Avenue
Overland Park KS 66223
913.549.4701

mep engineer:
FSC Consulting Engineers
9225 Indian Creek Pkwy, Suite 300
Overland Park, KS 66210
913.722.3473

civil engineer:
Kaw Valley Engineering, Inc.
8040 North Oak Trafficway
Kansas City, MO 64118
816.468.5858

landscape architect:
Vireo
929 Walnut, Suite 700
Kansas City, MO
816.756.5690

seal / signature



rev	date	description
1	12/18/2015	URBAN REDEVELOPMENT

sheet number:

EL100

LIGHTING CALCULATION
SITE PLAN

GENERAL NOTES

- DRAWINGS ARE DIAGRAMMATIC ONLY AND REPRESENT GENERAL SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE TO REVIEW GENERAL CONSTRUCTION DRAWINGS, ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AND ASSOCIATED SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS THAT MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF CONSTRUCTION. NOTIFY ARCHITECT OF ANY CONFLICT OR DISCREPANCIES PRIOR TO BID.
- POINT BY POINT FOOT CANDLE READINGS AREA SPACE ON 10-FOOT CENTERS.

PLAN NOTES

- LED LIGHT POLE MOUNTED FIXTURE 35 W,120-277V, 3615 LUMEN ON POLE HEIGHT 6", MODEL NUMBER "K40-LED-20C-530-30K-R3-120" FROM LITHONIA LIGHTING.
- LED LIGHT WALL MOUNTED FIXTURE 20W,120V, 1600 LUMEN ON 9" MOUNTING HEIGHT, MODEL NUMBER "MST18R17L" FROM COOPER LIGHTING.
- LED LIGHT WALL MOUNTED FIXTURE 11W,120V, 240 LUMEN ON 8" MOUNTING HEIGHT, MODEL NUMBER "OD746-BL-LED-W" FROM LBL LIGHTING.

LIGHTING LEGEND

- WALL BRACKET LIGHTING FIXTURE.
- POLE MOUNTED LIGHTING FIXTURE.

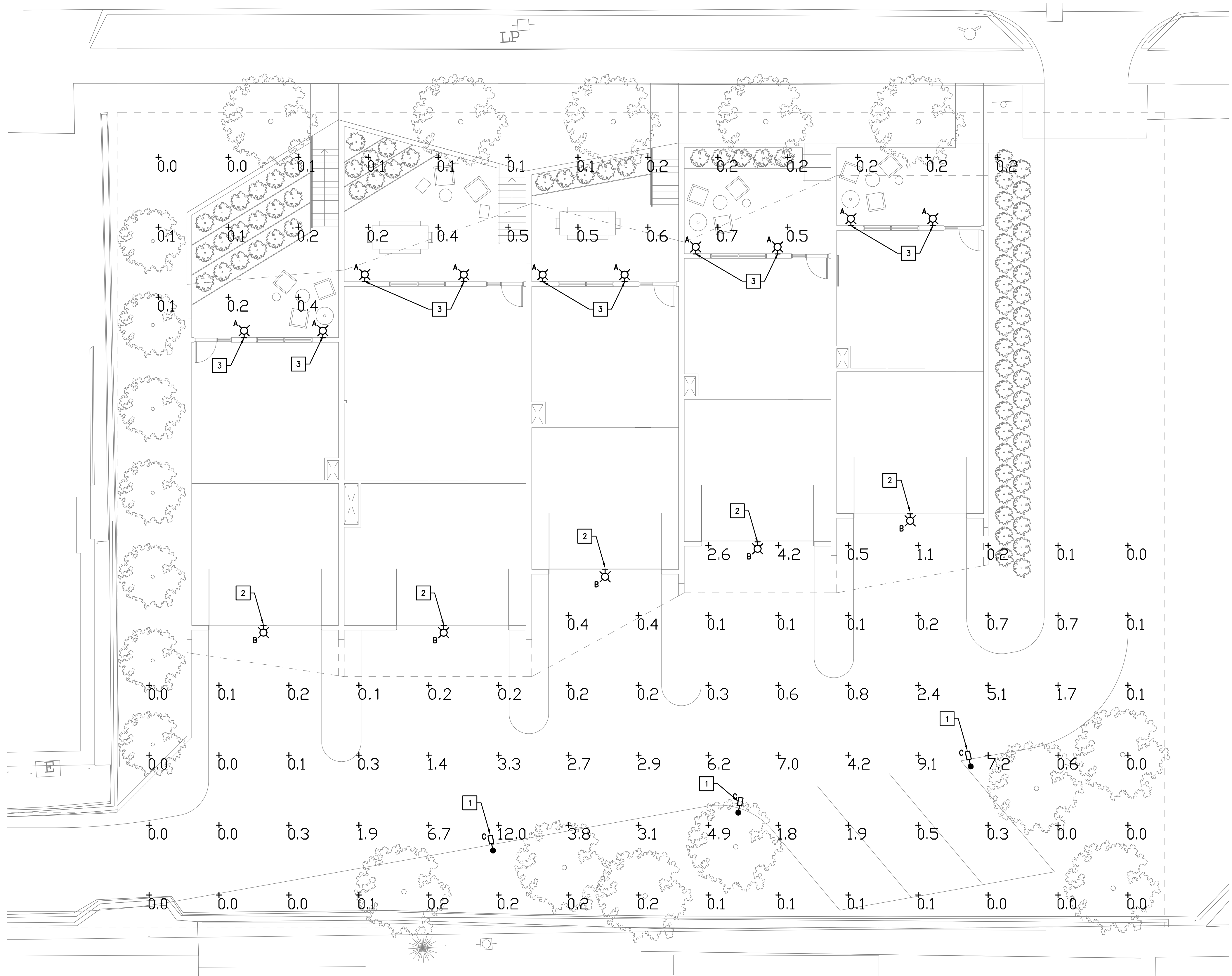
LIGHTING CALCULATION SUMMARY

- PARKING AND GARAGE AREA ILLUMINANCE (FC)
AVERAGE = 1.42
- BACK YARD ILLUMINANCE (FC)
AVERAGE = 0.25



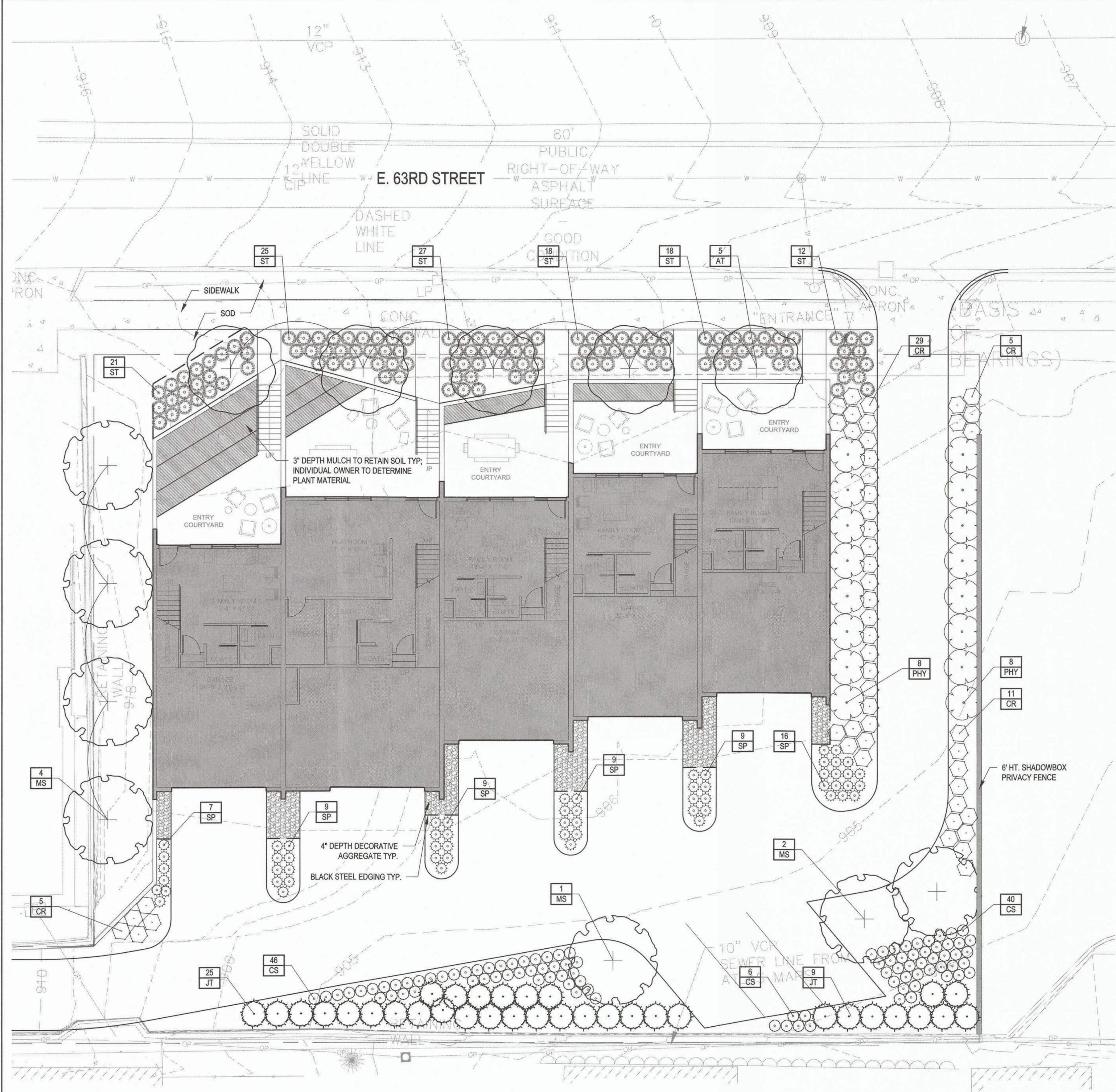
9225 Indian Creek Pkwy
Suite 300
Overland Park, KS 66210
Phone: 816.333.4373
Fax: 913.722.3484
Project #: 15-496

FSC MEP Engineers, LLC Consulting Engineers
Missouri State Certificate of Authority #20060000150



1 LIGHTING CALCULATION SITE PLAN

1/EL001 1/8" = 1'-0"

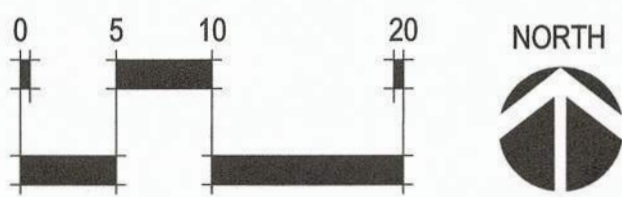


LANDSCAPE NOTES

1. LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
2. CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
3. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.
4. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
5. ALL PLANTING BEDS SHALL BE EDGED WITH BLACK STEEL EDGING AND / OR SHOVEL CUT EDGING PER THE PLANS
6. PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS ACCORDING TO SPECIFICATIONS.
7. DOUBLE GROUND HARDWOOD MULCH, PER SPECIFICATIONS SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS (PLANT MASSINGS) AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
8. ALL TREES SHALL BE STAKED AND GUYED PER DETAIL AND SPECIFICATIONS.
9. ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT. A TWO FOOT (2') CLEARANCE FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS.
10. THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
11. THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE FINE GRADING AND CONDITION OF SITE PRIOR TO SODDING AND OR SEEDING OPERATIONS.
12. ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS SHALL BE SODDED WITH DROUGHT TOLERANT TURF TYPE TALL FESCUE, RE: SPECIFICATIONS

PLANT SCHEDULE

TREES		CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
	+	AT	5	Acer tataricum	Tatarian Maple	B & B	2" Cal.
	+	JT	34	Juniperus virginiana 'Taylor'	Taylor Eastern Redcedar	B & B	10'-12' HT.
	+	MS	7	Maackia amurensis 'Summertime'	Summertime Maackia	B & B	2" Cal
SHRUBS		CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	+	CR	50	Calamagrostis brachytricha	Reed Grass	#1 Cont.	3' o.c.
	+	PHY	16	Physocarpus opulifolius 'Diablo'	Diablo Ninebark	#5 Cont.	6'
	+	SP	59	Schizachyrium scoparium 'Prairie Munchkin'	Prairie Munchkin Little Bluestem	#1 Cont.	1.5' o.c.
	+	CS	92	Schizachyrium scoparium 'Smoke Signal'	Little Bluestem Grass	#1 Cont.	1.5' o.c.
	+	ST	121	Sporobolus heterolepis 'Tara'	Prairie Dropseed	#1 Cont.	2' o.c.



63rd & Oak
Townhouses

63rd and Oak
Kansas City, MO

project number:
15030

owner:
UC-B Properties
2949 McGee Trafficway
Kansas City, MO 64108
816.379.6687

architect:
Blackbird Design Studio
2100 Central, Suite 21
Kansas City, MO 64108
816.719.3400



structural engineer:
J&S Structural Engineers
15185 Lowell Avenue
Overland Park KS 66223
913.549.4701

mep engineer:
FSC Consulting Engineers
9225 Indian Creek Pkwy, Suite 300
Overland Park, KS 66210
913.722.3473

civil engineer:
Kaw Valley Engineering, Inc.
8040 North Oak Trafficway
Kansas City, MO 64118
816.468.5858

landscape architect:
Vireo
929 Walnut, Suite 700
Kansas City, MO
816.756.5690

seal / signature



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rev	date	description
1	12/18/2015	URBAN REDEVELOPMENT
2	1/22/2016	URBAN REDEVELOPMENT

sheet number:

L100

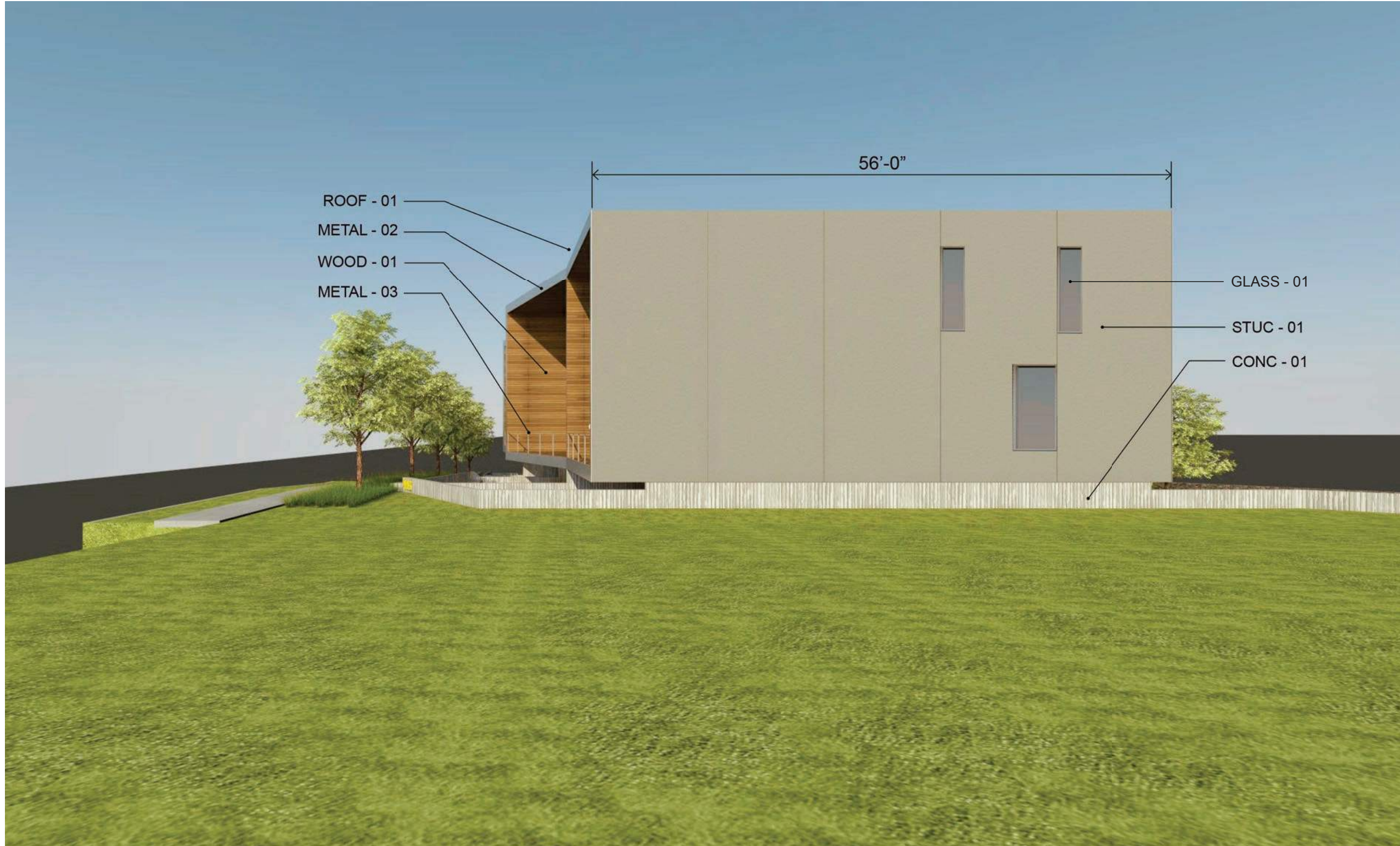
LANDSCAPE PLAN

1 LANDSCAPE PLAN

1/L100 1" = 10'-0"



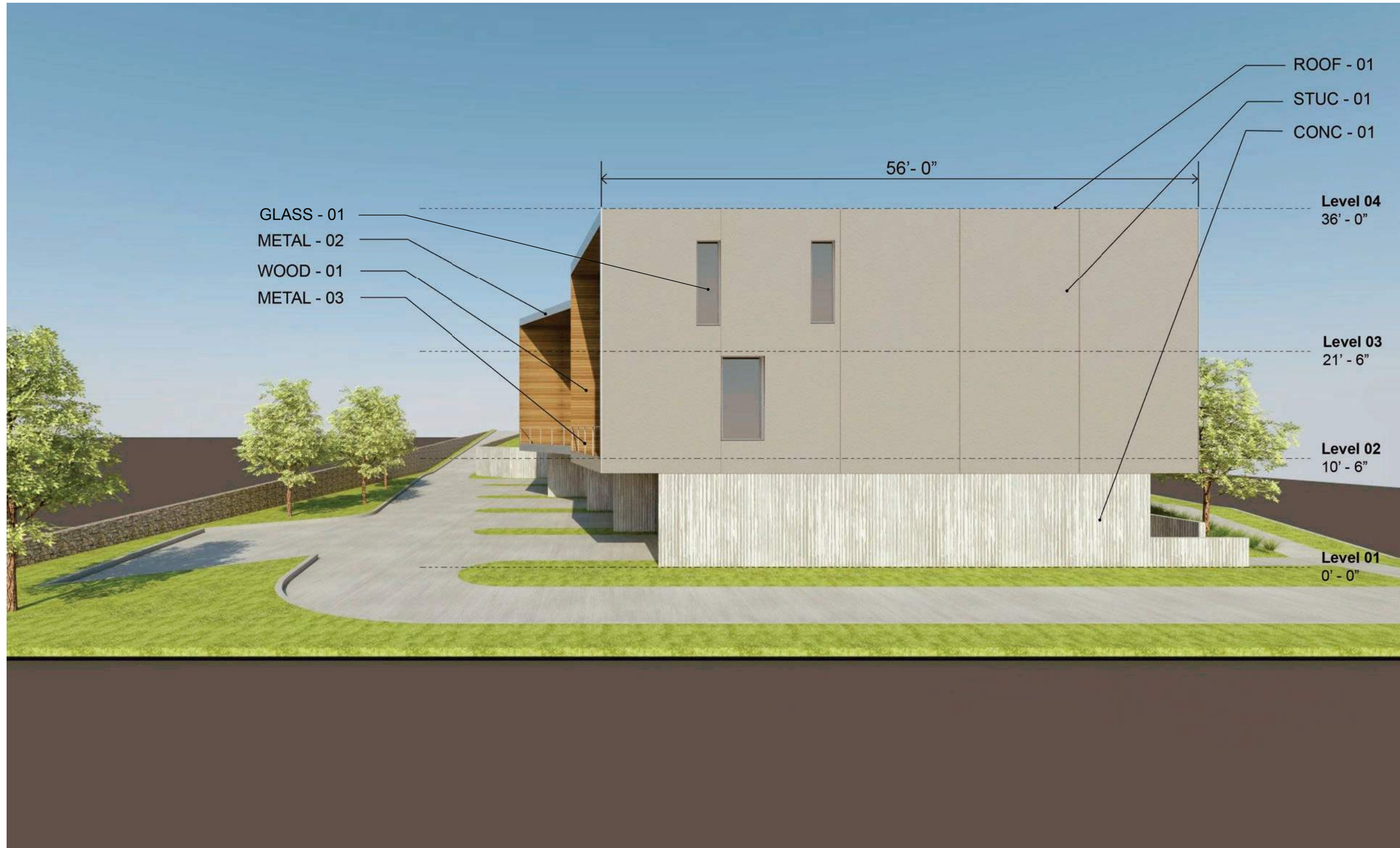
North Elevation



West Elevation



South Elevation

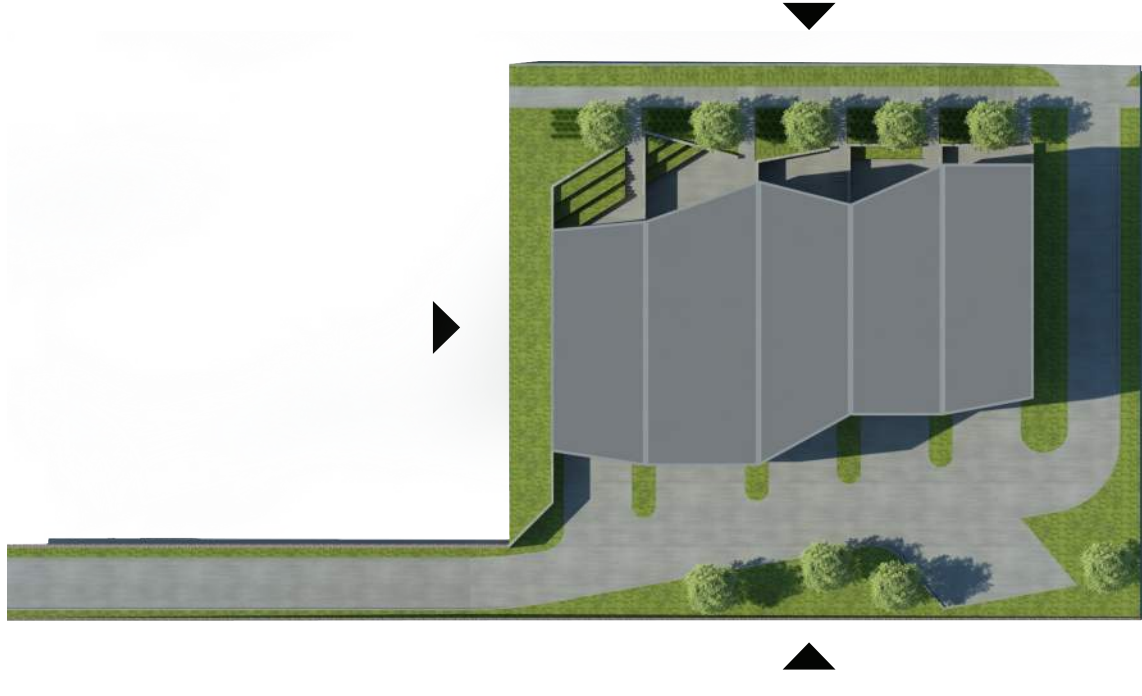


East Elevation

Material Key:

Materials Key	Description
METAL - 01	Painted Metal Panel
METAL - 02	Metal Fascia
METAL - 03	Steel Cable Railing
WOOD - 01	Wood Siding
GLASS - 01	Aluminum Clad Windows
CONC - 01	Board Formed Concrete
STUC - 01	Painted Stucco
PT - 01	Paint
ROOF - 01	White Roof Membrane

Key Plan:



63rd & Oak
Townhouses

63rd and Oak
Kansas City, MO

project number:
15030

owner:
UC-B Properties
2949 McGee Trafficway
Kansas City, MO 64108
816.379.6687

architect:
Blackbird Design Studio
2100 Central, Suite 21
Kansas City, MO 64108
816.719.3400



structural engineer:
J&S Structural Engineers
15185 Lowell Avenue
Overland Park KS 66223
913.549.4701

mep engineer:
FSC Consulting Engineers
9225 Indian Creek Pkwy, Suite 300
Overland Park, KS 66210
913.722.3473

civil engineer:
Kaw Valley Engineering, Inc.
8040 North Oak Trafficway
Kansas City, MO 64118
816.468.5858

landscape architect:
Vireo
929 Walnut, Suite 700
Kansas City, MO
816.756.5690

seal / signature

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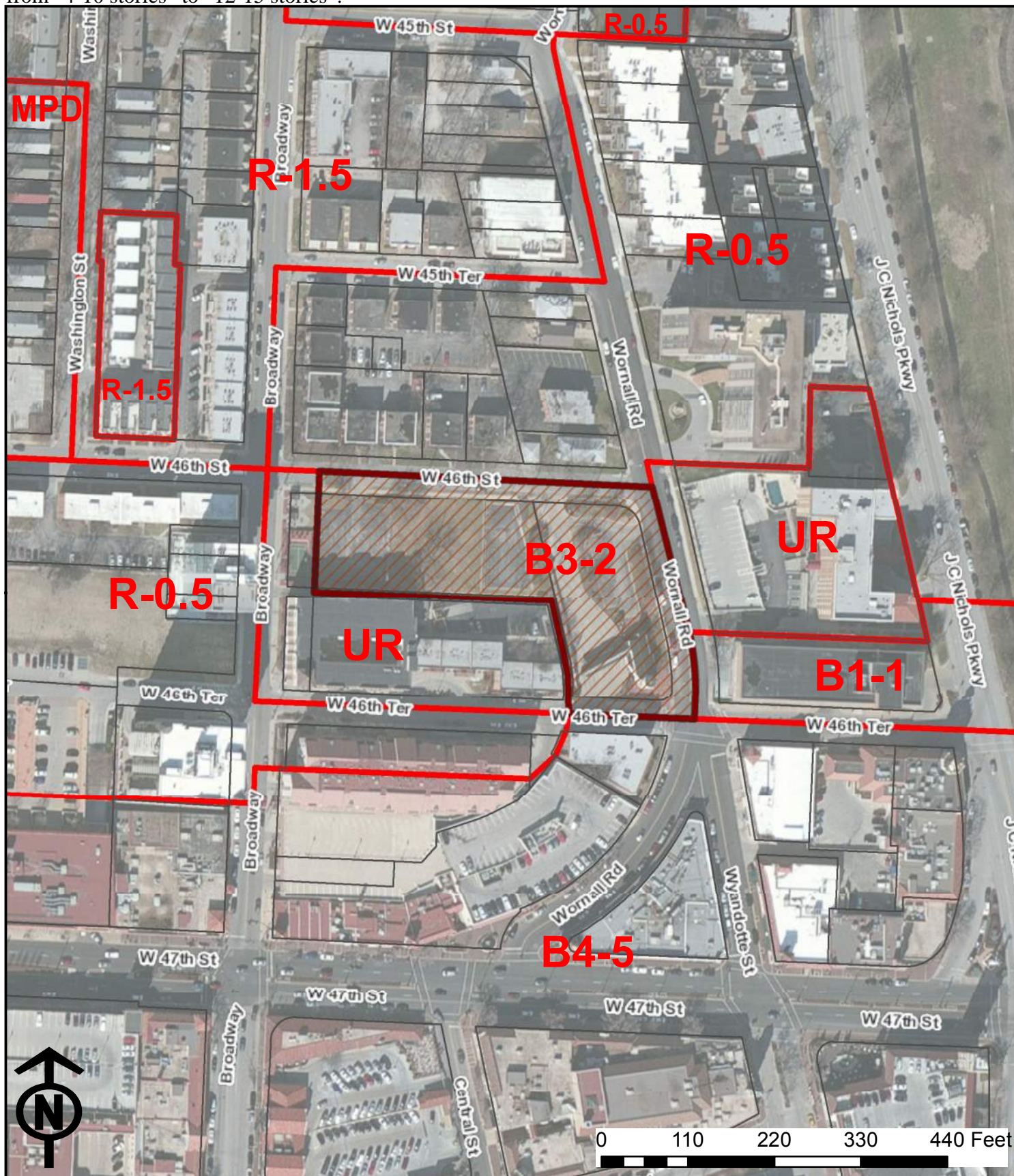
rev	date	description
1	12/18/2015	URBAN REDEVELOPMENT
2	1/22/2016	URBAN REDEVELOPMENT

sheet number:

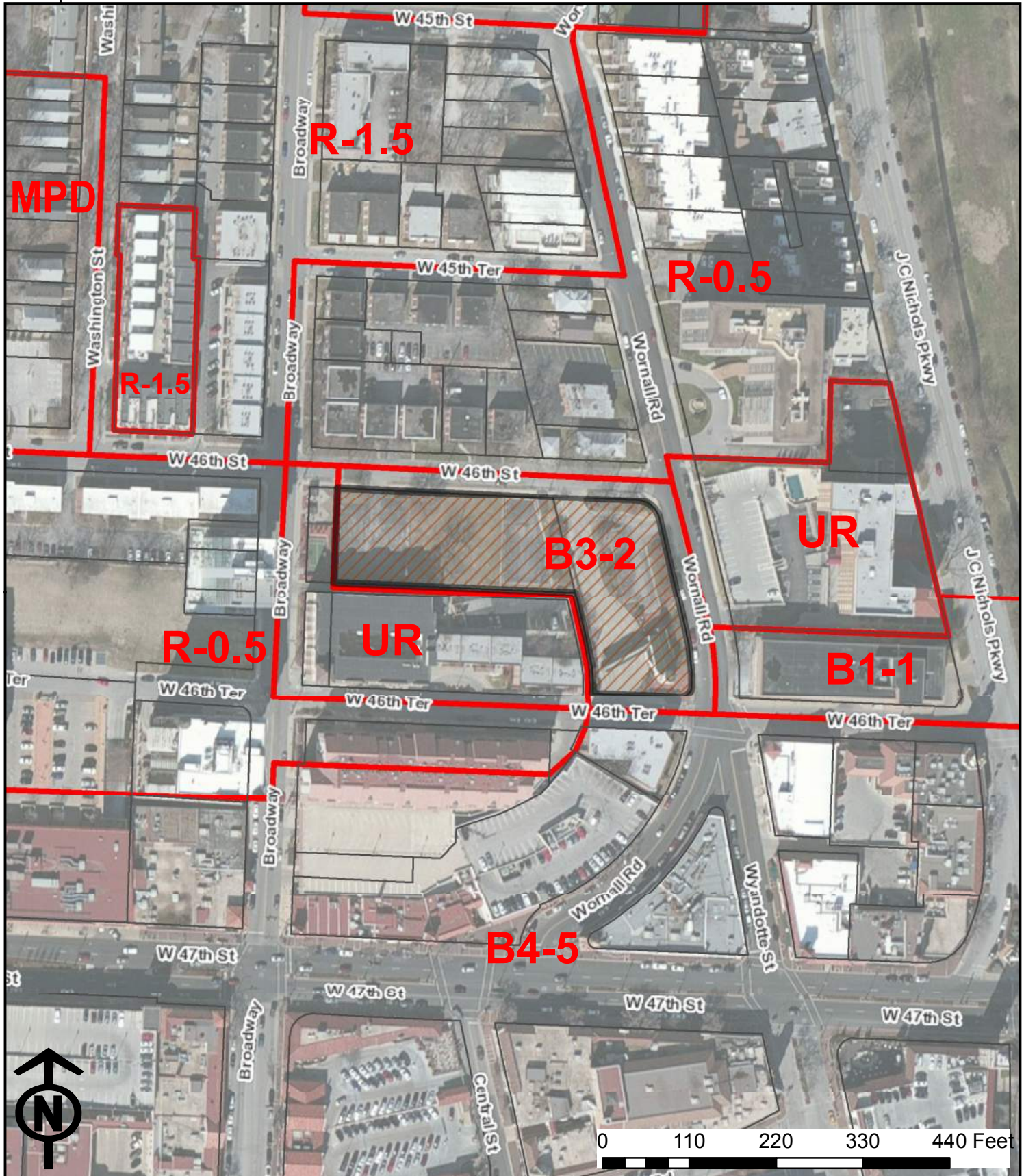
A1

EXTERIOR ELEVATIONS
AND MATERIALS

A request to amend the Plaza Urban Design and Development Plan on about 1.5 acres, generally located on the block bound by W 46th St on the north, Broadway on the west, Wornall Rd on the east and W 46th Ter on the south, by changing recommendation relating to redevelopment from "Potential Redevelopment within Existing Zoning" to "Limited Redevelopment with Specific Guidelines" and by changing the recommendation regarding building height from "4-10 stories" to "12-15 stories".



To consider approval of a rezoning from District B3-2 (Community Business) to District UR (Urban Redevelopment) and approval of a preliminary development plan on approximately 1.5 acres generally located on a portion of the block bound by Broadway, W 46th St, W 46th Ter, and Wornall Rd to allow an approximately 228,770 square foot mixed use development.





City Planning & Development Department

Development Management Division

15th Floor, City Hall
414 East 12th Street
Kansas City, Missouri 64106-2795

816 513-2846
Fax 816 513-2838

STAFF REPORT

February 2, 2016

(12 & 13)

RE: a. **Case No. 611-S-6**
b. **Case No. 14609-UR**

APPLICANT: Plaza Hotels, LLC
900 W 48th Pl, Suite 900
Kansas City, MO 64112

OWNER: Commerce Bank
1000 Walnut, 7th Floor
Kansas City, MO 64106

AGENT: Chase Simmons
Polsinelli PC
900 W 48th Pl, Suite 900
Kansas City, MO 64112

LOCATION: Generally located on a portion of the block bound by Broadway,
W 46th St, W 46th Ter, and Wornall Rd.

REQUESTS: a. To consider amending the Plaza Urban Design and Development Plan by changing the recommendation relating to redevelopment from "Potential Redevelopment within Existing Zoning" to "Limited Redevelopment with Specific Guidelines" and by changing the recommendation regarding building height from "4-10 stories" to "12-15 stories".
b. To consider approval of a rezoning from District B3-2 (Community Business) to District UR (Urban Redevelopment) and approval of a preliminary development plan to allow an approximately 228,770 square foot mixed use development.

AREA: About 1.5 acres.

SURROUNDING LAND USE: **North** W 46th St, beyond which are residential and office uses, zoned R-0.5 (Residential 0.5).
West Broadway, beyond which are residential uses, zoned R-0.5.
South Hotel zoned UR (Urban Redevelopment) and W 46th Ter, beyond which are residential uses zoned R-0.5 and B4-5 (Heavy Business/Commercial).
East Wornall Rd, beyond which is a hotel zoned UR and office zoned B1-1 (Neighborhood Business).

LAND USE PLAN: The Plaza Urban Design and Development Plan is the current plan of record and recommends "Potential Redevelopment within Existing Zoning" and building heights from 4 to 10 stories.

MAJOR STREET PLAN: None of the abutting streets are, in the vicinity of the subject property, classified as major streets by the Major Street Plan.

**ARTERIAL STREET
IMPACT FEE:** The subject property is located within Benefit District H and is subject to impact fees as required by Chapter 39.
(Informational only)

RECOMMENDATIONS:


a. Case No. 611-S-6 - To consider amending the Plaza Urban Design and Development Plan by changing the recommendation relating to redevelopment from "Potential Redevelopment within Existing Zoning" to "Limited Redevelopment with Specific Guidelines" and by changing the recommendation regarding building height from "4-10 stories" to "12-15 stories".

City Planning and Development Staff recommends Case No. 611-S-6 be continued to March 1, 2016 without fee.

b. Case No. 14609-UR - To consider approval of a rezoning from District B3-2 (Community Business) to District UR (Urban Redevelopment) and approval of a preliminary development plan to allow an approximately 228,770 square foot mixed use development.

City Planning and Development Staff recommends Case No. 14609-UR be continued to March 1, 2016 without fee.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Joe Rexwinkle', written in a cursive style.

Joseph C. Rexwinkle, AICP
Planner



**City Planning and Development Department
Development Management Division**

15th Floor, City Hall
414 East 12th Street
Kansas City, Missouri 64106-2795
(816) 513-8801

STAFF REPORT **February 2, 2016** **(14)**

Re: **Case No. 254-S-314**

Applicant: Jeffrey Williams, AICP, Director of City Planning & Development

Request: Amending Chapter 88, the Zoning and Development Code, through revisions, clarifications, and other administrative changes throughout the chapter in accordance with the Zoning & Development Code periodic review.

Purpose:

This is another list in the series of revisions to the Zoning & Development Code.

Recommendation:

Staff recommends CONTINUANCE to the City Plan Commission meeting of March 15, 2016.

Respectfully Submitted,

Patricia A. Elbert Noll

Patricia A. Elbert Noll
Planner
Patty.Noll@kcmo.org